



Public Document Pack

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3 February 2021

DEVELOPMENT CONTROL COMMITTEE

A meeting of the Development Control Committee will be held virtually on **Wednesday 3 February 2021 at 2.30 pm** and you are requested to attend.

Members: Councillors Bennett (Chairman), Ms Thurston (Vice-Chair), B Blanchard-Cooper, Bower, Charles, Coster, Edwards, Mrs Hamilton, Kelly, Lury, Mrs Pendleton, Roberts, Tilbrook, Mrs Warr and Mrs Yeates

PLEASE NOTE: *This meeting will be a 'virtual meeting' and any member of the press and public may listen-in and view the proceedings via a weblink which will be publicised on the Council website at least 24 hours before the meeting.*

Different meeting arrangements are in place for the period running from 4 April 2020 to 7 May 2021 from the provisions of the Coronavirus Act 2020 and the meeting regulations 2020, to allow formal 'virtual meetings'.

This Council's revised Rules of Procedures for 'virtual meetings' can be viewed here [click here](#)

PLEASE NOTE THAT THE ORDER OF THE AGENDA MAY BE ALTERED AT THE DISCRETION OF THE CHAIRMAN AND SUBJECT TO THE AGREEMENT OF THE MEMBERS OF THE COMMITTEE

PLEASE ALSO NOTE THAT PLANS OF THE APPLICATIONS DETAILED IN THE AGENDA ARE AVAILABLE ON LINE AT www.arun.gov.uk/planning<<http://www.arun.gov.uk/planning>>

AGENDA

OFFICER REPORT UPDATES

Presentation attached.

Note : Reports are attached for all Members of the Committee only and the press (excluding exempt items). Copies of reports can be obtained on request from the Committee Manager.

Note : Members are reminded that if they have any detailed questions would they please inform the Chairman and/or relevant Director in advance of the meeting.

Note : Filming, Photography and Recording at Council Meetings - The District Council supports the principles of openness and transparency in its decision making and permits filming, recording and the taking of photographs at its meetings that are open to the public. This meeting may therefore be recorded, filmed or broadcast by video or audio, by third parties. Arrangements for these activities should operate in accordance with guidelines agreed by the Council and as available via the following link – [Filming Policy](#)

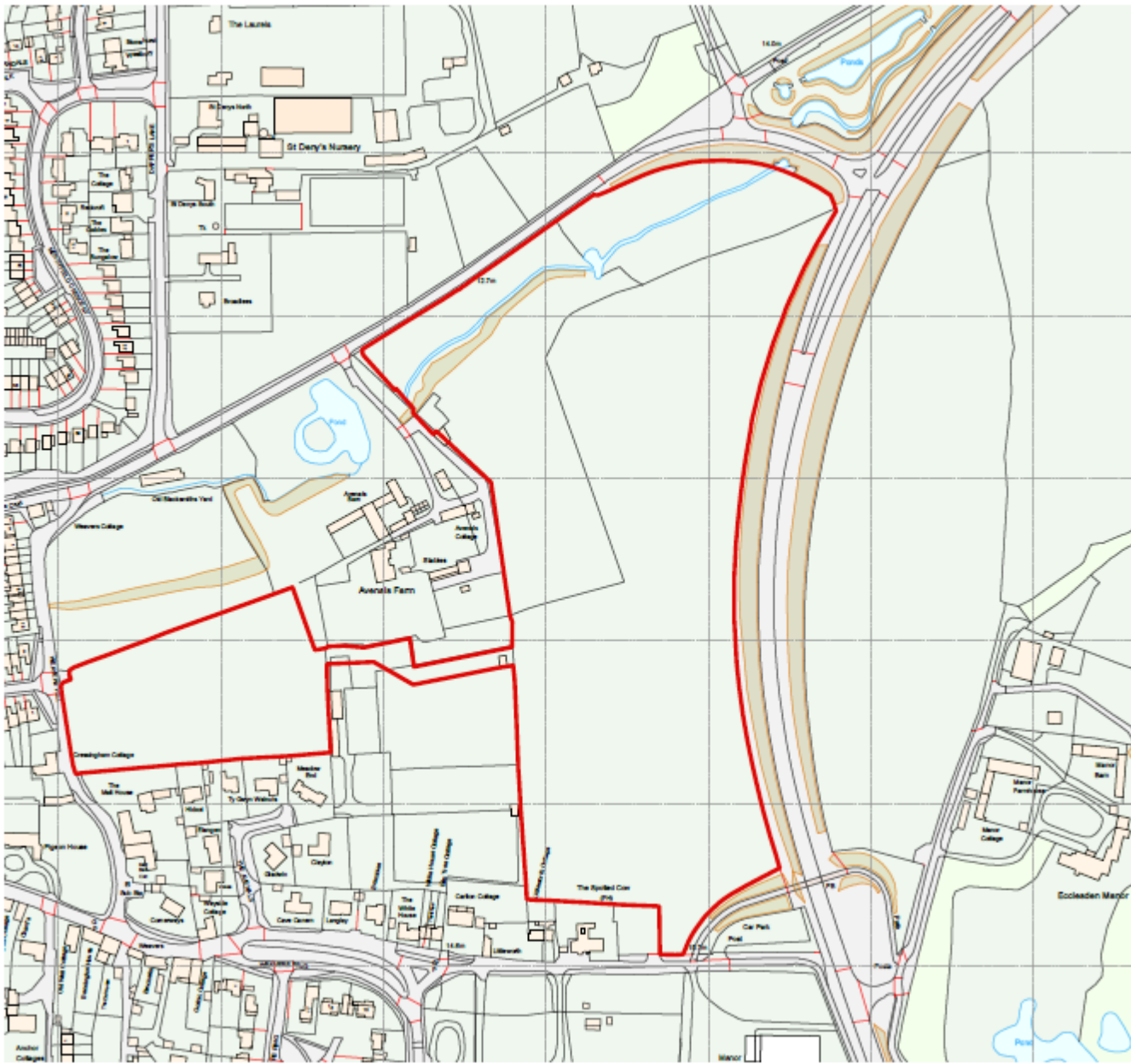
These meetings are webcast live.

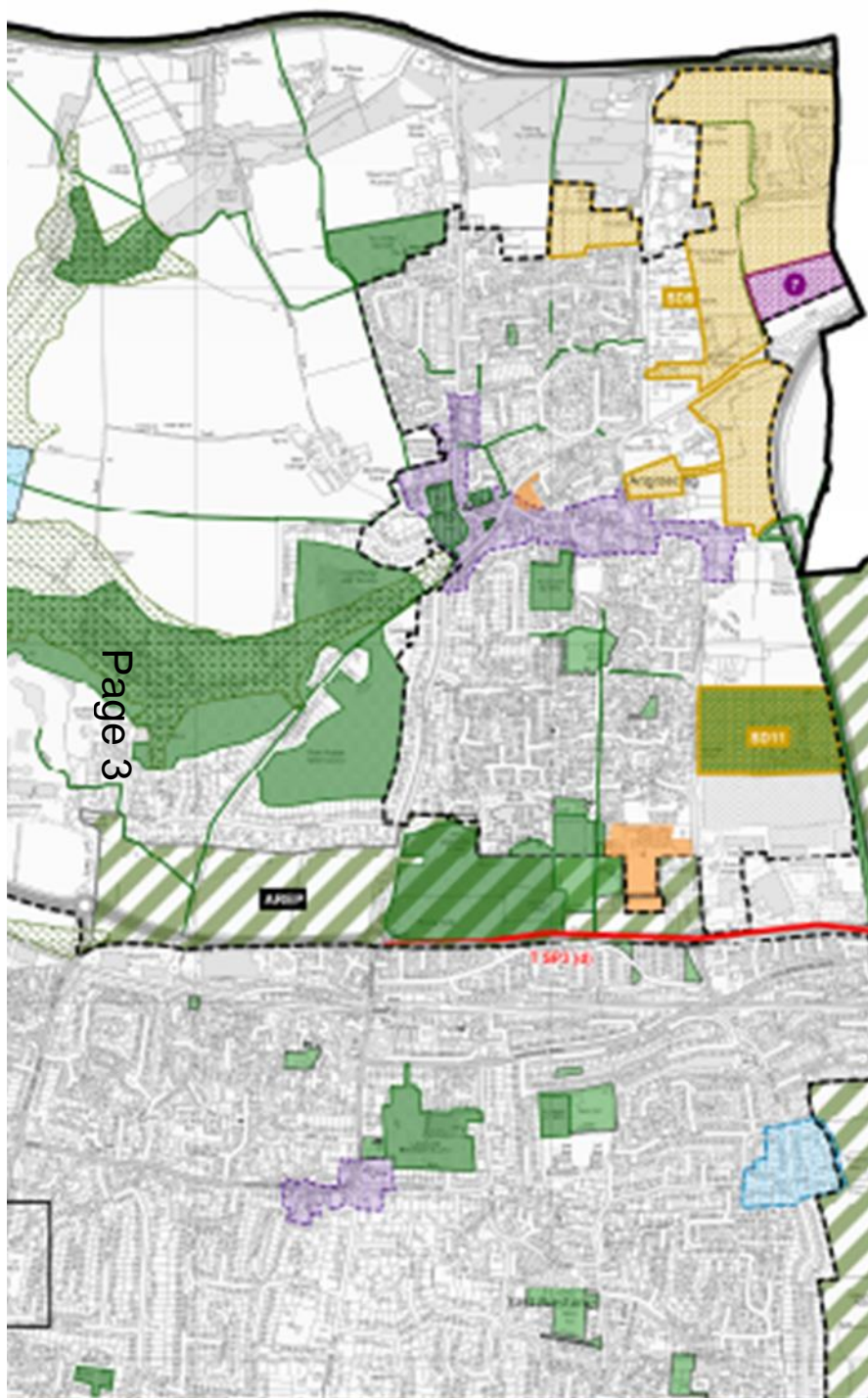
To watch recorded webcasts use the following link - Development Control [Webcast Page](#)

A/109/20/RES

Approval of reserved matters following outline consent A/99/17/OUT for 175 No dwellings & associated infrastructure. This application may affect the setting of a listed building, may affect the character & appearance of the Angmering Conservation Area & falls within Strategic Site SD9, CIL Zone 1 (Zero Rated).

Land South of Water Lane, Angmering





Extract from the Policies Map from the Arun Local Plan



Angmering North Strategic Allocation:

- Land South of Water Lane;
- Land North of Water Lane; &
- Land at Dappers Lane.



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View of the application site from the A280 Footbridge





View of the application site from High Street – immediately east of the Spotted Cow Public House



Avenals Farmhouse Listed Building accessed off Water Lane



View of the site from Water Lane including the Black Ditch





Key Land Use

- Housing - Medium Density
- Housing - Lower Density
- LEAP + LAP playspace
- Village Green (with footpath/cycleway)
- Informal Open Space
- SUDS (Attenuation)
- Landscape Buffer Strip width 5.5m minimum, 9 m maximum
- Access

NOTES:
 1. The site is shown in the context of the surrounding area.
 2. The site is shown in the context of the surrounding area.
 3. The site is shown in the context of the surrounding area.
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 9. The site is shown in the context of the surrounding area.
 10. The site is shown in the context of the surrounding area.



Key Building Heights

- Housing - 2 or 2.5 Storey
Eaves 5-6m max
Ridge 10-12m max
- Housing - 2 Storey
Eaves 4.5-5.5m max
Ridge 8-10m max
- Housing - 1.5 or 2 Storey
Eaves 2.5-5m max
Ridge 5-10m max
- Application Redline-Refer to P 01 for detail

NOTES:
 1. The site is shown in the context of the surrounding area.
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 10. The site is shown in the context of the surrounding area.



Land South of Water Lane - Parameter Plans

Parameters Plans approved at outline planning stage.





Layout Plan



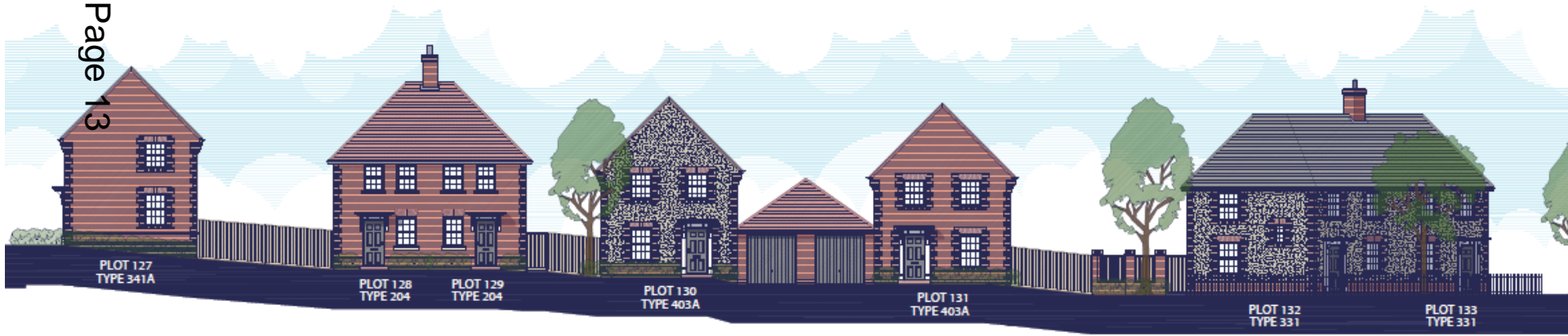
The northern part of the site facing the Black Ditch



View of the apartment building and adjacent dwellings from the Black Ditch



Page 13



Houses facing the attenuation basin at the northern end of the site, located immediately west of the dwellings on the previous slide

VISUAL 1 - AFTER PLANTING



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Visual 1 from Water Lane – After Planting





VISUAL 1 - AT PLANTING MATURITY



Visual 1 from Water Lane – At planting maturity

VISUAL 2 - AFTER PLANTING



Page 16

Visual 2 from Water Lane – After Planting



VISUAL 2 - AT PLANTING MATURITY



Visual 2 from Water Lane – At planting maturity

VISUAL - YEAR 1 AFTER PLANTING



Outline of existing vegetation with foliage



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Visual 3 from A280 Footbridge – After planting

VISUAL - PLANTING AFTER 15 YEARS



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Visual 4 from A280 Footbridge – At planting maturity

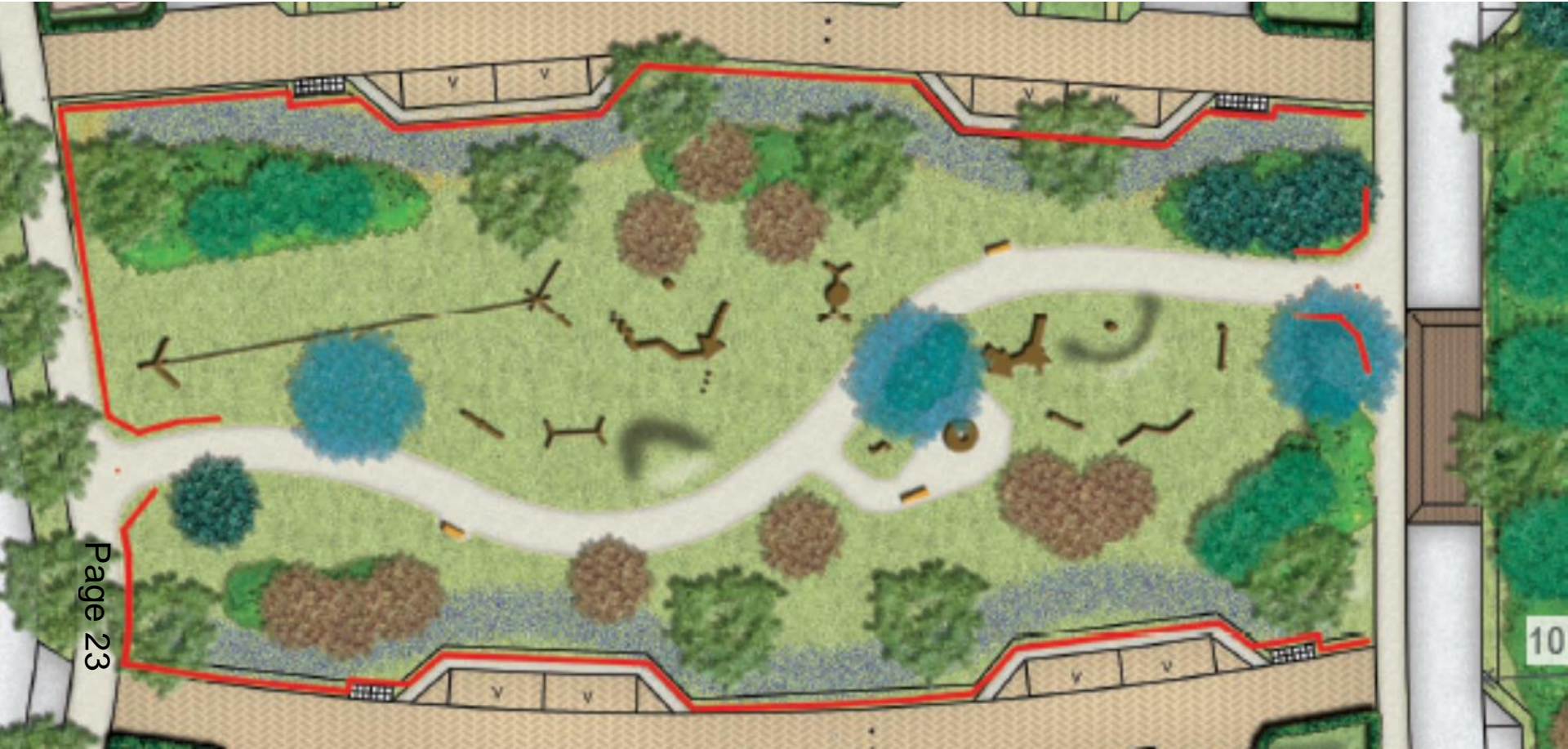


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Layout of houses in the Sussex Village Character Area (low density)



The proposed layout of houses in the southern part of the site



The revised layout for the 'Super LEAP'







Heights Layout

5.3 The Character Areas

The DAS which accompanied the Outline approval identified 4 Character Areas informing the development of the site layout. These help to provide legibility and a sense of place when traveling by foot, cycle or car throughout the development. These areas are each intended to have an individual personality and inform the scale, design and material treatment of the surrounding buildings, ensuring that an appropriately individual sense of place is created for residents and visitors, and establishing a defined hierarchy of built form throughout the site.

The scale, design and the use of materials and a set of design principles for each area will ensure a high quality and varied development.

Specific Character Area proposals are as follows and described in detail in the following sections.

KEY	
	Sussex Village
	The Avenue
	Parkland Edge
	Sussex View



Character Areas Plan

The Four Character Areas

SUSSEX VILLAGE

WALL FINISH

- RED-MULTI BRICK WITH CONTRASTING RED FEATURE BRICK DETAILING.
- FLINT WITH RED BRICK DETAILING
- TILE HANGING TO FIRST FLOOR WITH FEATURE BAND
- CREAM RENDER TO GROUND FLOOR OF SELECTED TILE HUNG UNITS.
- THREE COURSE SAW-TOOTH BRICK BAND AT WINDOW HEAD
- CHIMNEYS TO SELECTED PLOTS

ROOF

- RED, GREY AND BROWN ROOF TILES
- HIPPED AND BARN HIPPED ROOFS
- BOXED EAVES WITH WHITE BARGEBOARDS AND FASCIAS

WINDOWS / DOORS / PORCHES

- CASEMENT WINDOWS WITH MID-BAR.
- VARIOUS WINDOW HEAD TREATMENTS DEPENDING ON MATERIAL VARIANT.
- BRICK HEADER CILLS
- BRICK QUOINS AROUND OPENINGS IN FLINT
- ACID ETCH CHROME CROSS FRONT DOORS IN GOLDEN OAK
- LEAN-TO OR GABLE FRONTED PORCHES



5.3 The Character Area

SUSSEX VILLAGE

Wall Finish :
Red-multi brick with contrasting red feature brick detailing
Flint with red brick detailing
Tile hanging to first floor with feature band
Cream render to ground floor of selected tile hung units
Three course saw-tooth brick band at window head
Chimneys to selected plots

Roof :
Red, grey and brown roof tiles
Hipped and barn hipped roofs
Boxed eaves with white bargeboards and fascias

Windows / Doors / Porches :
Casement windows with mid-bar
Various window head treatments depending on material variant
Brick header cills
Brick quoins around openings in flint
Acid etch chrome cross front doors in golden oak
Lean-to or gable fronted porches



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PARKLAND EDGE

WALL FINISH

- RED BRICK WITH DARK RED DETAIL BRICK
- FLINT
- BRICK QUOINS
- CORBELLED EAVES
- BRICK HEADER COURSE TO GABLES

ROOF

- RED AND GREY ROOF TILES
- PREDOMINANTLY GABLES & HIPPED ROOFS
- OCCASIONAL BRICK CHIMNEYS TO SELECTED PLOTS
- BOXED EAVES WITH WHITE BARGEBOARDS AND FASCIAS

WINDOWS / DOORS / PORCHES

- ALL BAR SASH STYLE WINDOWS
- GAUGED BRICK ARCHED WINDOW HEADS
- STONE CILLS TO WINDOWS WHERE THEY ARE NOT QUOINS
- BRICK QUOINS AROUND OPENINGS
- TRADITIONAL STYLE SIX PANEL FRONT DOOR IN BLACK WITH FANLIGHT OVER
- PORTICO STYLE DOOR SURROUNDS
- SPLAYED BAYS WITH FLAT ROOFS.



5.3 The Character Areas

PARKLAND EDGE

Wall Finish :
Red brick with dark red detail brick
Flint
Brick Quoins
Corbelled eaves
Brick header course to gables

Roof :
Red and grey roof tiles
Predominantly gable and hipped roofs
Occasional brick chimneys to selected plots
Boxed eaves with white bargeboards and fascias

Windows / Doors / Porches :
All bar sash style windows
Gauged brick arched window heads
Stone cills to windows where they are not quoins
Brick quoins around openings
Traditional style six panel front door in black with fanlight over
Portico style door surrounds
Splayed bays with flat roofs



SUSSEX VIEW

WALL FINISH

- RED BRICK WITH DARK RED FEATURE BRICK DETAILING.
- CREAM COLOUR RENDER
- SAILCLOTH BOARDING TO FIRST FLOOR
- THREE COURSE BRICK BAND AT WINDOW HEAD

ROOF

- RED AND BROWN ROOF TILES
- PREDOMINANTLY HIPPED ROOFS
- BOXED EAVES WITH WHITE BARGEBOARDS AND FASCIAS

WINDOWS / DOORS / PORCHES

- SINGLE VERTICAL BAR SASH STYLE WINDOWS
- CONTRASTING SOLDIER COURSE WINDOW HEADS
- BRICK HEADER CILLS
- WHITE ACID ETCH 9 PANE CHROME FRONT DOORS
- LEAN-TO PORCHES ON BRACKETS.



5.3 The Character Areas

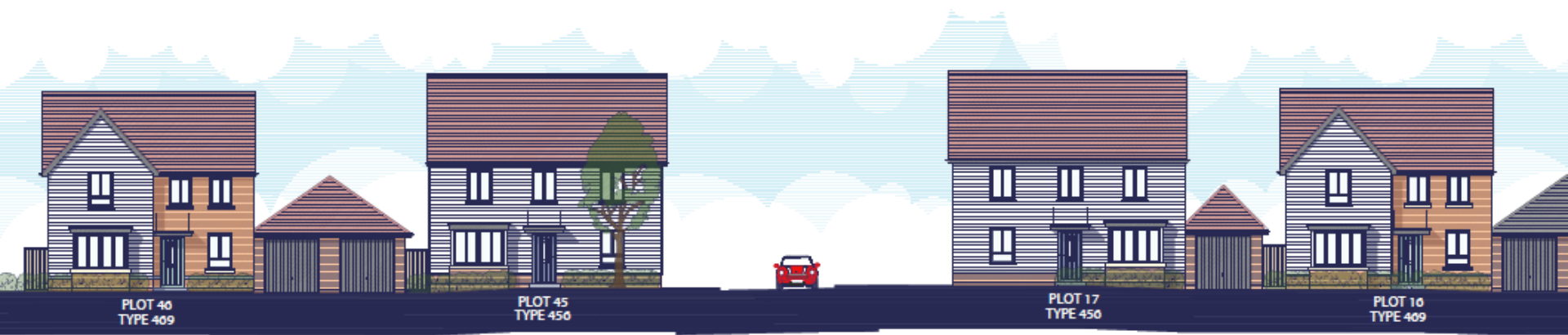
SUSSEX VIEW

Wall Finish :
Red brick with dark red feature brick detailing
Cream colour render
Sailcloth boarding to first floor
Three course brick band at window head

Roof :
Red and brown roof tiles
Predominantly hipped roofs
Boxed eaves with white bargeboards and fascias

Windows / Doors / Porches :
Single vertical bar sash style windows
Contrasting soldier course window heads
Brick header cills
White acid etch 9 pane chrome front doors
Lean-to porches on brackets





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The Avenue Character Area

5.4 Access and Movement Hierarchy

5.4 Access and Movement Hierarchy

The overall strategy for this development is to promote the role of streets as not just vehicular conduits, but also as places for pedestrians, cyclists and setting of buildings. The proposals have been designed with the objective of minimising the use of car journeys within the development and to create a safer and secure environment for all users.

The layout is based on a network of linked spaces providing connections to the facilities and recreational opportunities. The permeable layout embraces the design concepts contained in Manual for Streets which puts well designed streets at the heart of the community. It ensures that residential areas, recreational and open spaces are easily accessible via a network of roads and pedestrian linkages.

Traffic calming measures such as a sinuous road network, interspersed street parking bays with tree planting and shared surfaces deter higher speeds thus making the speed restriction self enforcing.

The Primary Street will be punctuated at intervals by a series of 'events'. These may take the form of open spaces, changes in the building line, and change in materials. These events will serve a number of important purposes, including reducing traffic speeds, creating a local character, providing focal points and creating variety and interest in the street scheme.

Secondary Streets will link the residential blocks to the Primary Streets and provide a secondary level of movement around the site. These streets provide an interface between the development parcels and the adjacent open spaces.

The Tertiary Streets and Courtyards will be located within and to the edge of the perimeter blocks and will provide small shared surface spaces for pedestrians and vehicles. These shared surfaces allow vehicle access and manoeuvring but will give priority to pedestrians. Natural surveillance from adjacent properties are the key components of their successful function.

Vehicle tracking (swept path assessments) have been undertaken for the internal road network to ensure that a refuse vehicle can navigate its way around the site.



Street Typology Plan

A/179/20/RES

Approval of reserved matters (appearance, layout, scale and landscaping) following outline consent A/99/17/OUT, for a culverted embankment over the Black Ditch, providing a road crossing to the proposed residential development.

Land South of Water Lane, Angmering



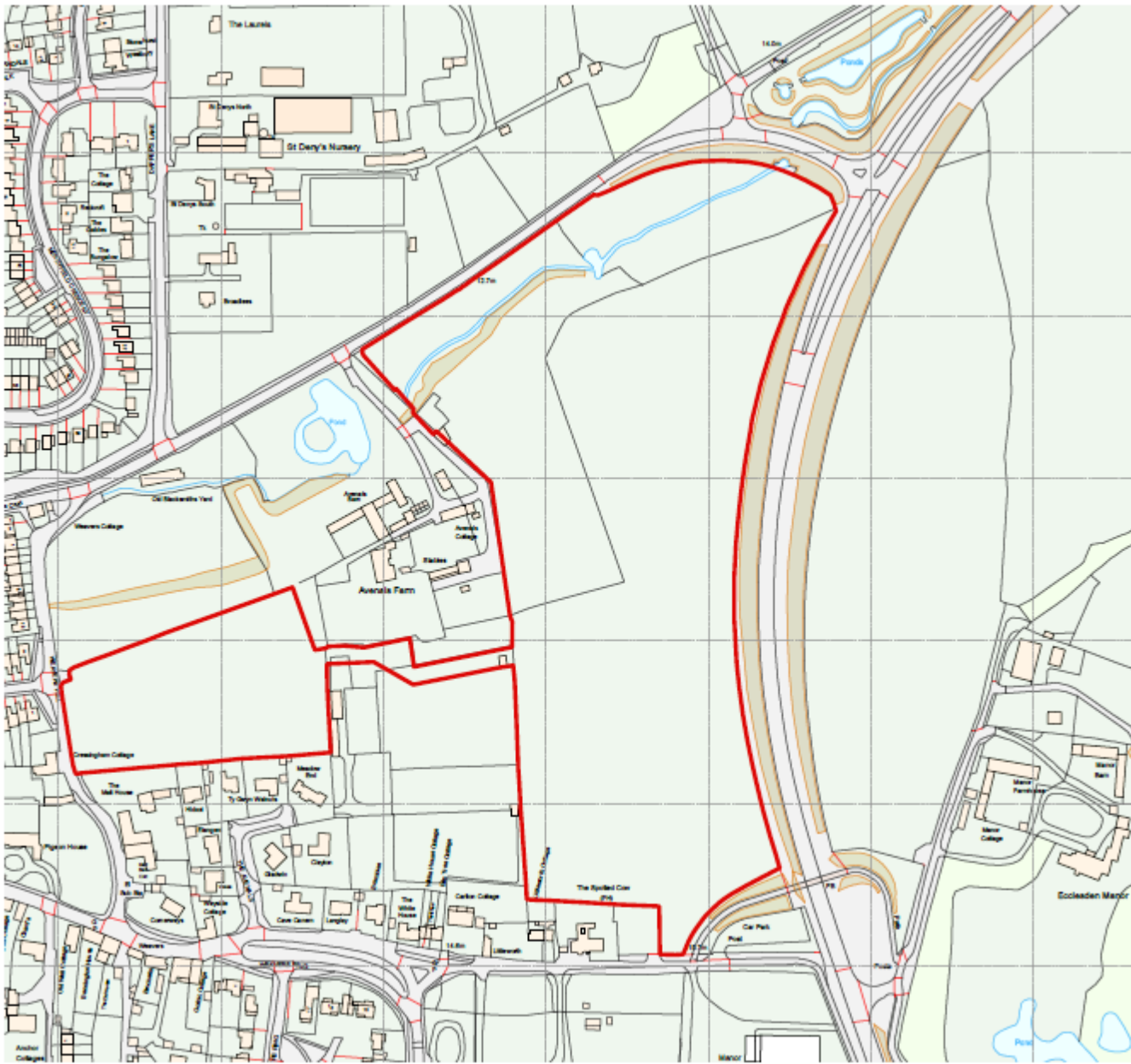
Page 35

INGMERING

LOCATION PLAN
1:200

Red Line plan







View of the application site from Water Lane



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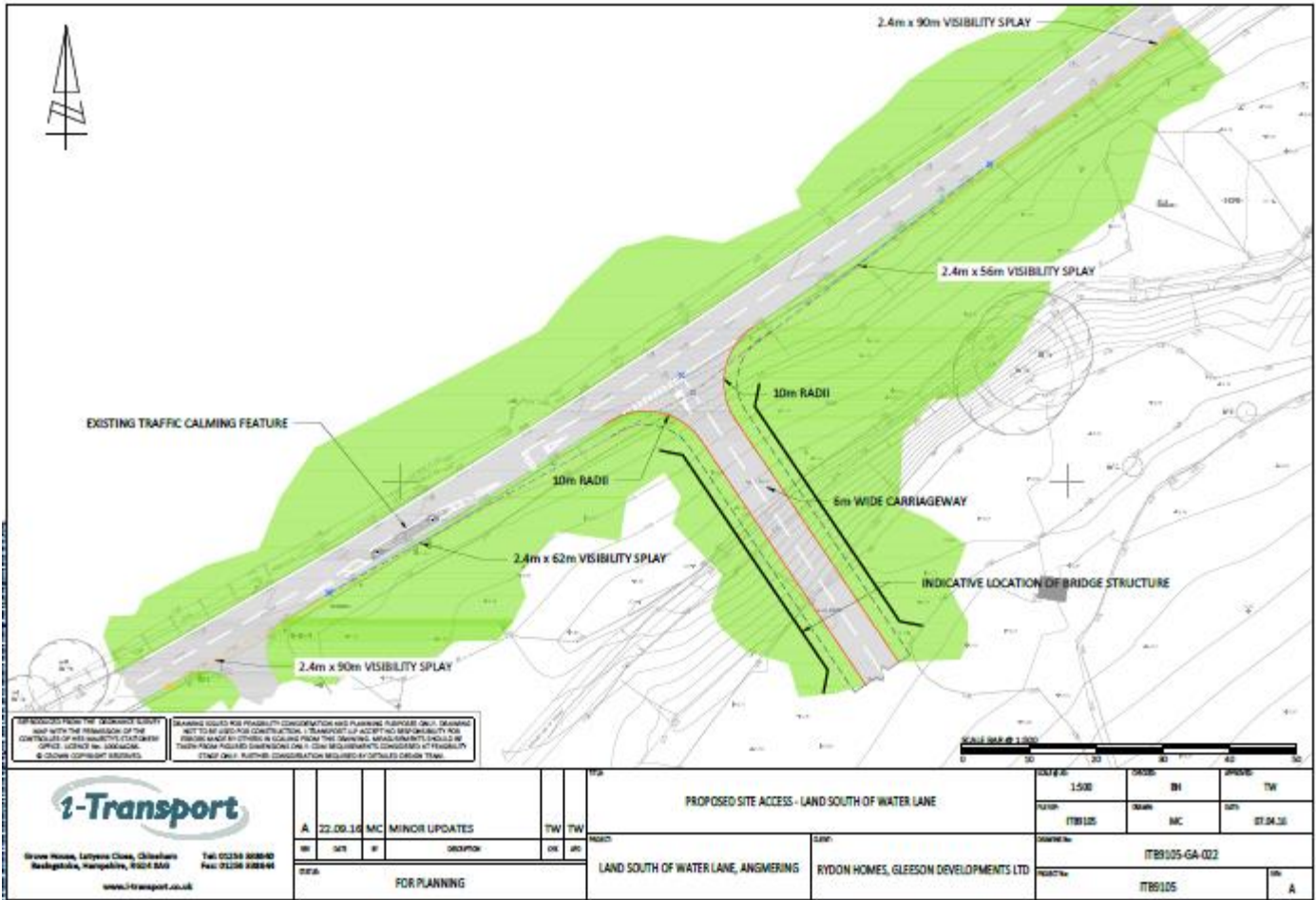
A view of the Black Ditch from Water Lane



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Looking west along Water Lane with the application site on the left

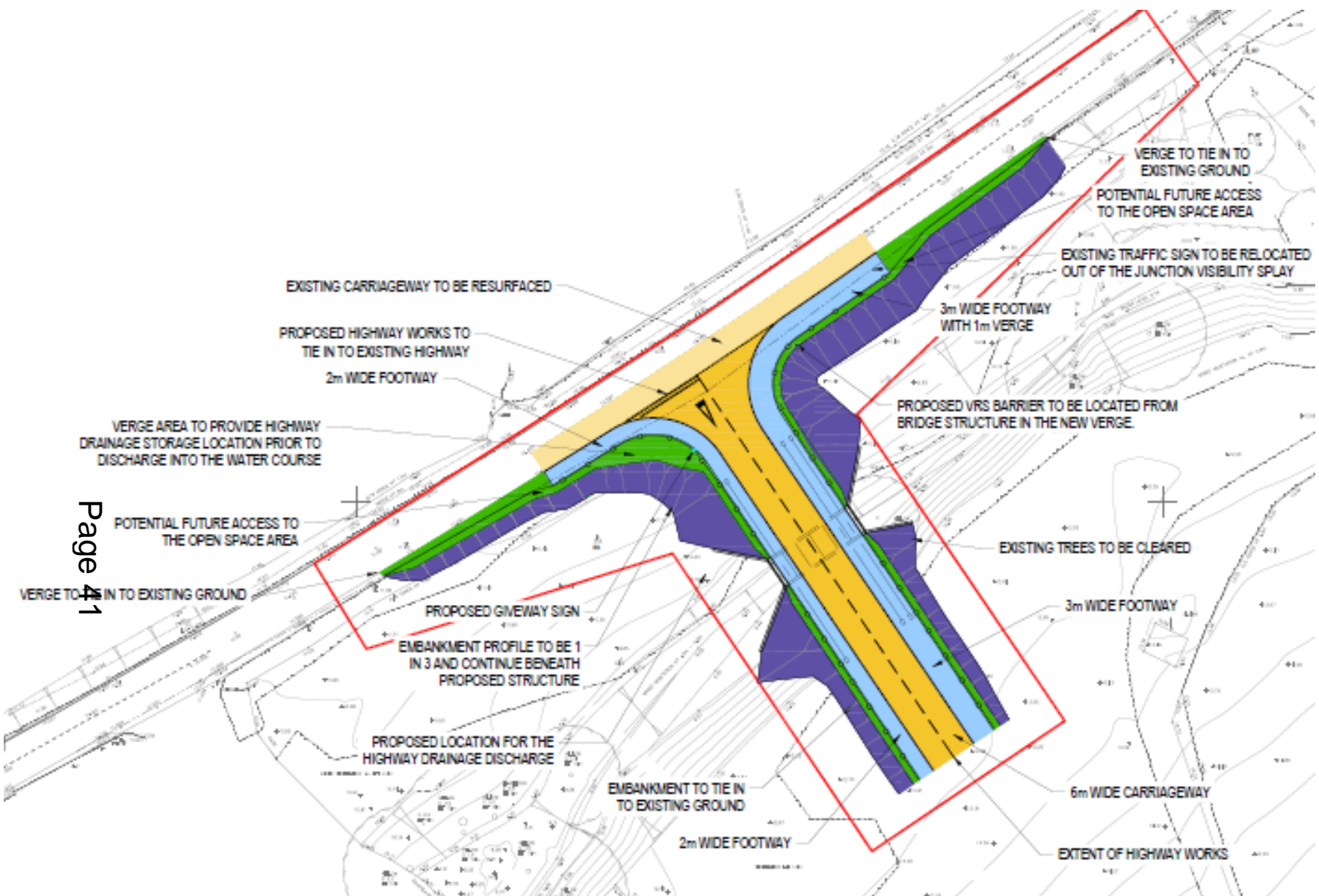




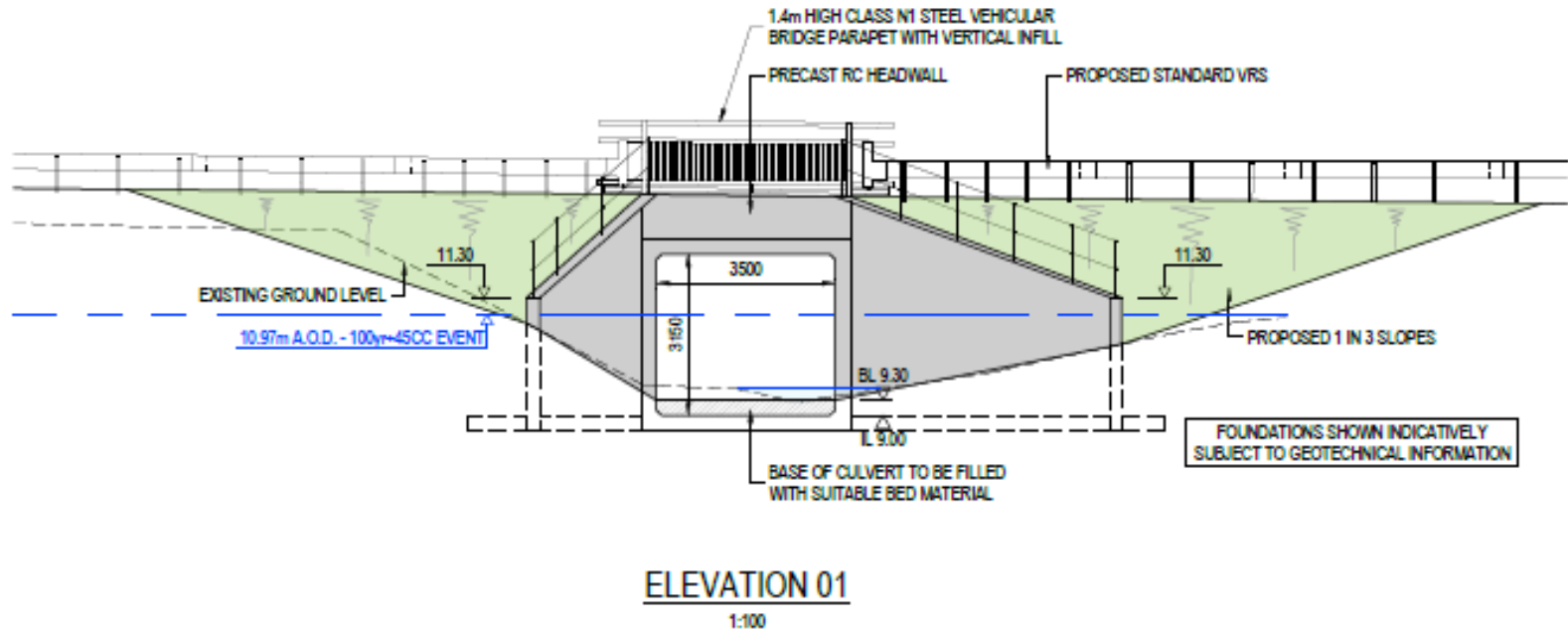
		PROPOSED SITE ACCESS - LAND SOUTH OF WATER LANE		SCALE 1:500	DATE 01.04.16
A	22.09.16	MC	MINOR UPDATES	TW	TW
01/16	01/16	01/16	01/16	01/16	01/16
FOR PLANNING			LAND SOUTH OF WATER LANE, ANGERING	RYDON HOMES, GLEESON DEVELOPMENTS LTD	
www.1transport.co.uk			01238 808840	01238 808844	

Approved vehicular access onto Water Lane
 Outline planning permission A/99/17/OUT

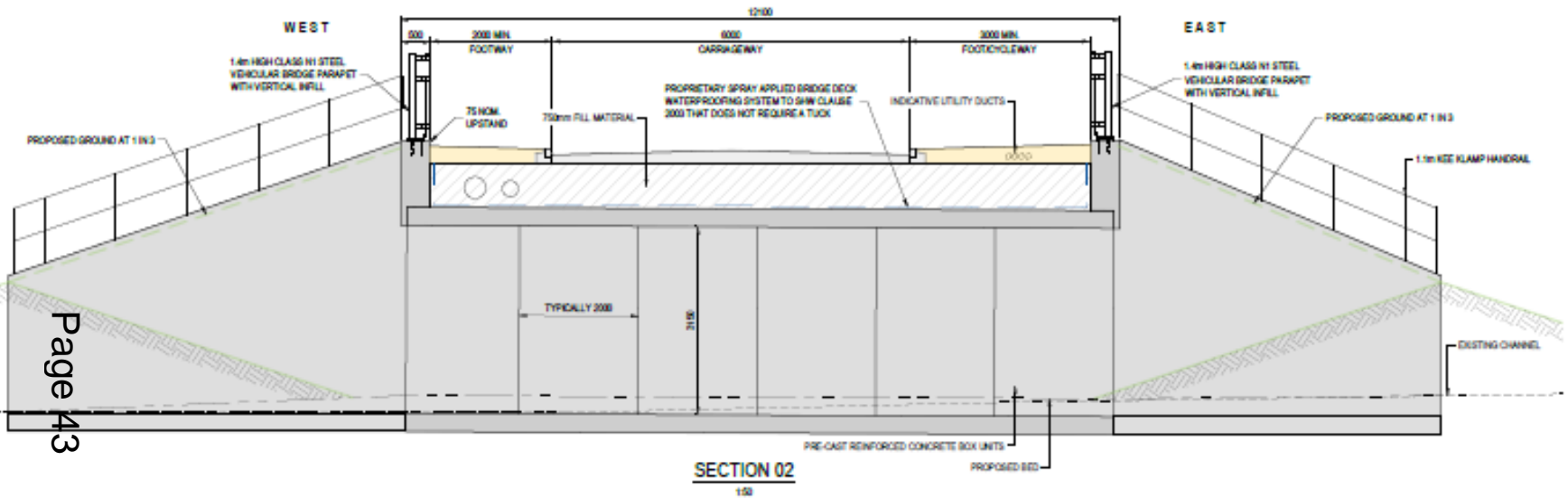




General arrangement plan



Elevational details of the culverted embankment

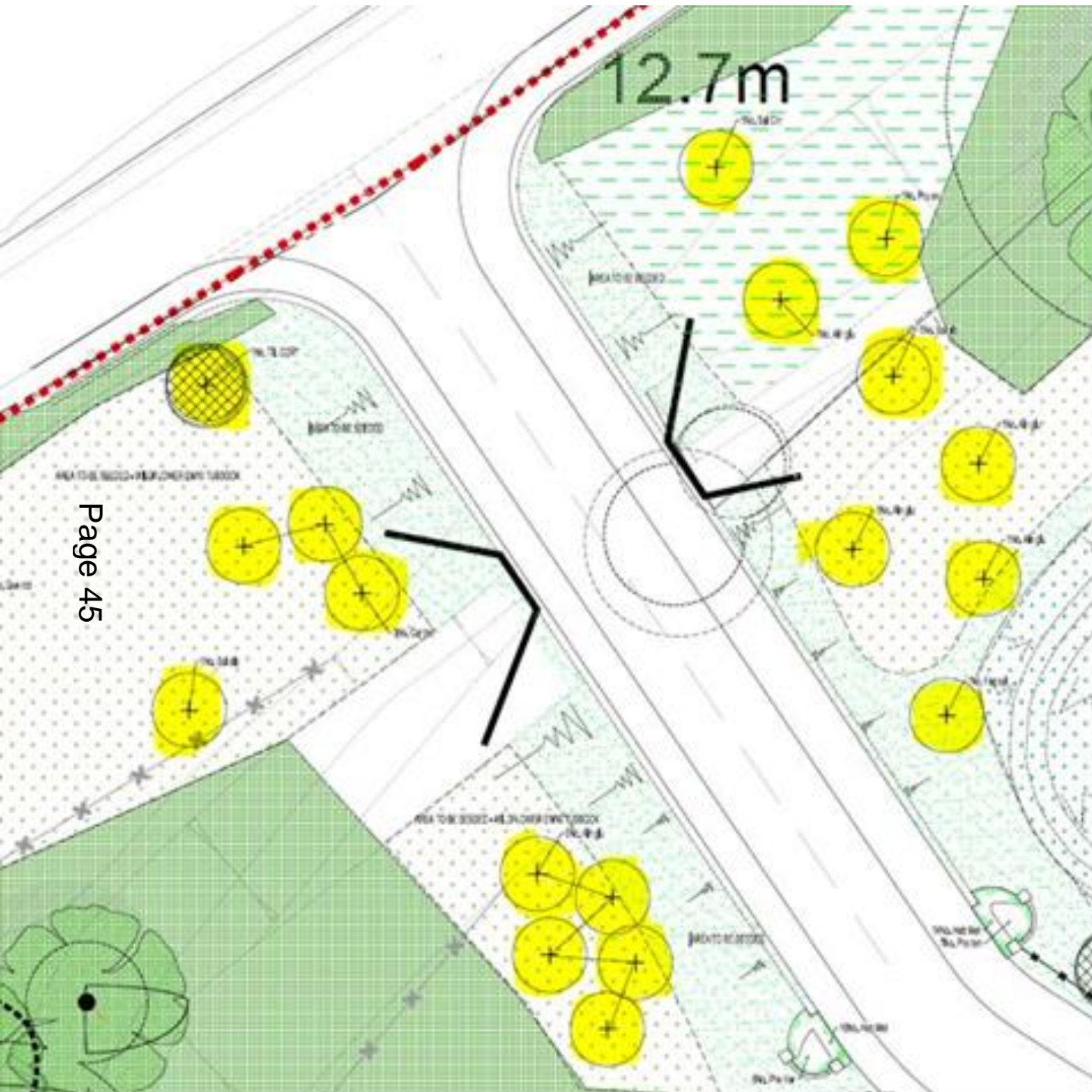


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Cross section through the road, footways and cycleway on the culverted embankment.



The masterplan demonstrates the culvert being screened by a number of trees



18 trees screen the culvert from Water Lane. These trees are a minimum of 1.6m tall at the point of planting and will grow to at least 16m with some reaching heights of 24m at full maturity. The areas underneath the trees will be seeded with a specific wildflower mix depending on the ground conditions.

R/197/20/OUT

Croft Works, 52 Mill Lane, Rustington

Outline application with some matters reserved for the demolition of existing dilapidated storage buildings & erection of 2 No. detached 3-bedroom chalet bungalows with associated car barns, gardens, car parking & landscaping (resubmission following R/117/20/OUT).



MILL LANE

Collection day refuse & recycling point

Existing access reused and resurfaced with bonded gravel surface

Access driveway with existing driveway currently provides access to commercial parking area

Shared refuse & recycling store for both bungalows

Existing wall and painting to Frost Cream retained

Blue line indicates extent of existing buildings

Planting zone to side and rear of Plot 1

Land of Frost Cream outside of ownership

Additional screening to southern boundary within gardens

SCENT

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Play Area

54

50

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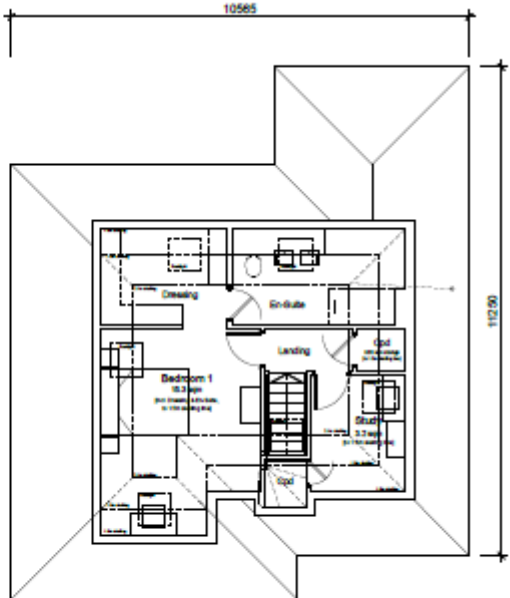
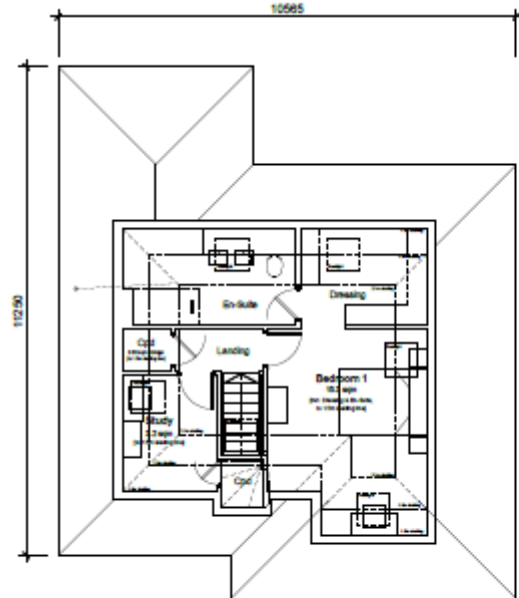
16

Plot 1
3 Bedroom
Chapel Bungalow
1370sqft

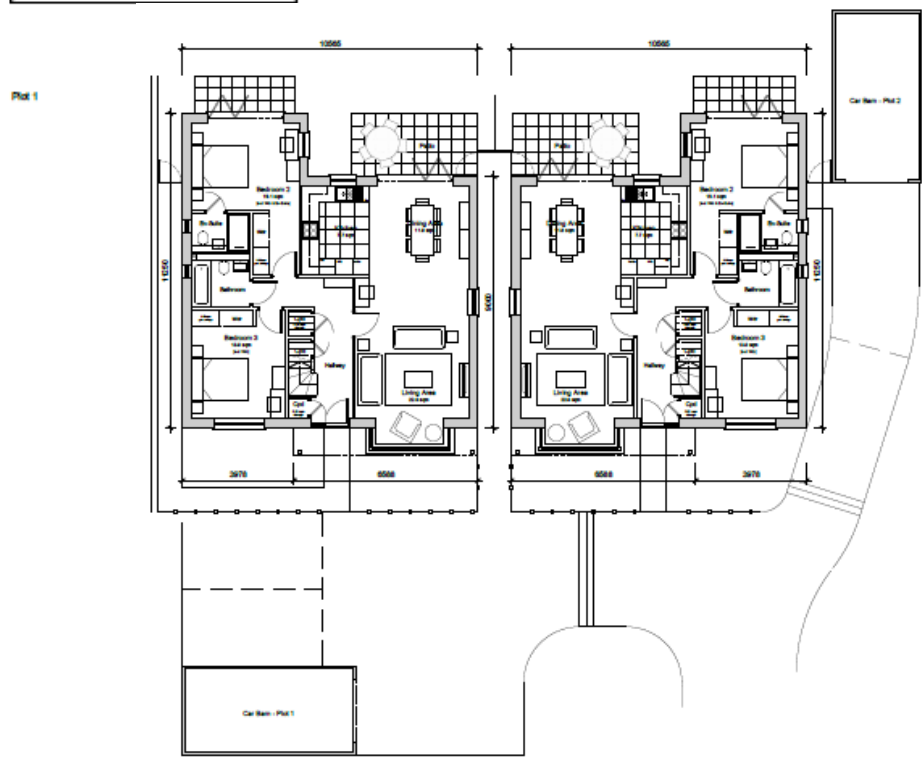
Plot 2
3 Bedroom
Chapel Bungalow
1370sqft

02 Car Barn





First Floor Plan
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Ground Floor Plan

Proposed Floor Plans



Fircroft Crescent

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SITE BOUNDARY

SITE BOUNDARY

Gray UPVC windows

Plain clay roof tiles

Local stock brickwork

Timber posts

Timber composite front door

1.8m High close boarded fencing with timber gates

Soldier course detail

Stood brick sills



Plot 2



Plot 1



Plot 1 Parking

Front (North) Elevation

SITE BOUNDARY

SITE BOUNDARY



Plot 1



Plot 2

Plot 1 Car Barn

Rear (South) Elevation



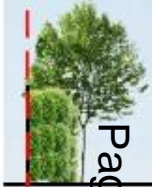
Side (East) Elevation - Plot 2

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Side (West) Elevation - Plot 2

SITE BOUNDARY



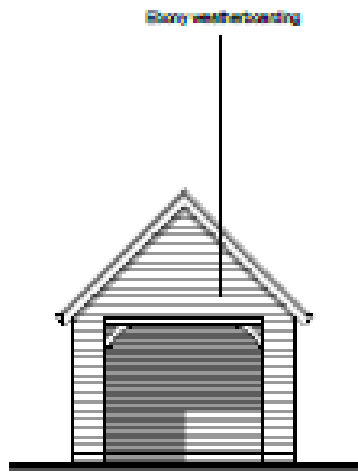
Side (East) Elevation - Plot 1

Plot 1 Car Barn shown dashed

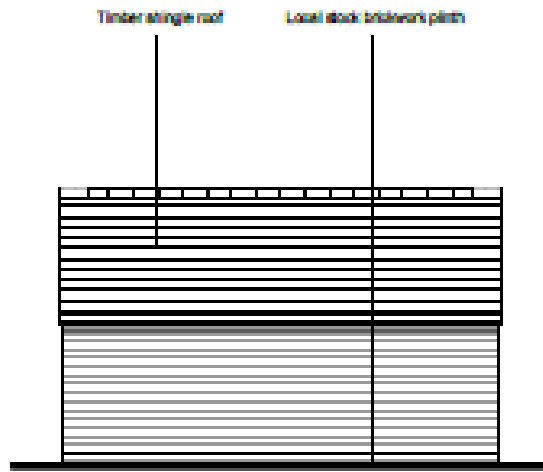


SITE BOUNDARY

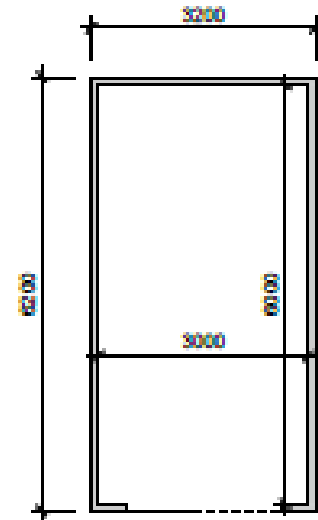
Side (West) Elevation - Plot 1



Car Barn Front Elevation

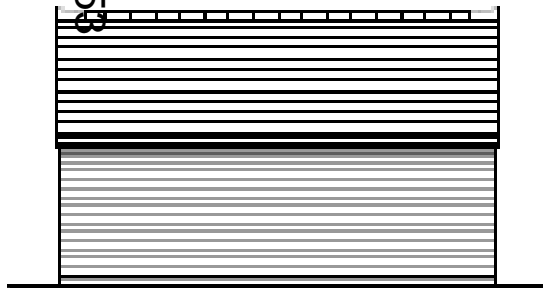


Car Barn Side Elevation

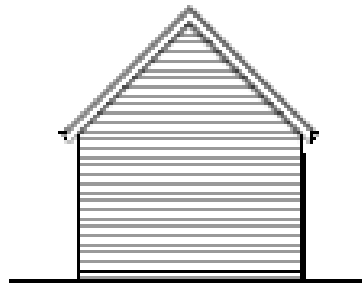


Car Barn Floor Plan

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Car Barn Side Elevation



Car Barn Rear Elevation

MILL LANE

54

29

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TG02 - *Crataegus monogyna*; RPA min. 2.4 m

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Proposed Building Demolition
Required demolition of building within Tree RPA to be undertaken with using manual dig only. Excavation of existing foundations to be carried out using handheld tools only, in order to monitor presence of roots within the demolition zone.
Croft Works

Proposed Tree Surgery Works
Proposed tree surgery works to the northeast aspect of the hombeam tree canopy by crown-lifting to 1.0 metre height within the site area. (Refer to the attached AIA for detailed tree surgery measures)

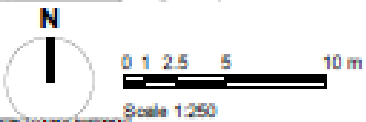
Play Area

T01 - *Carpinus betulus*; RPA min. 9.6 m

Low value elder shrub

21

E.N.T.



Tree Retention Protection Plan 52 Mill Ln, Rustington



Plans from the previous refusal R/117/20/OUT

MILL LANE

54

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Play Area

Collection day refuse & recycling point

Existing access resurfaced and resurfaced with bonded gravel surface

Shared refuse & recycling store for all dwellings

Pergola structures over parking spaces for trailing planting

Existing wall and planting to River Court maintained

Pergola structures over parking space for trailing planting

Parking zone to side and rear of Plot 1

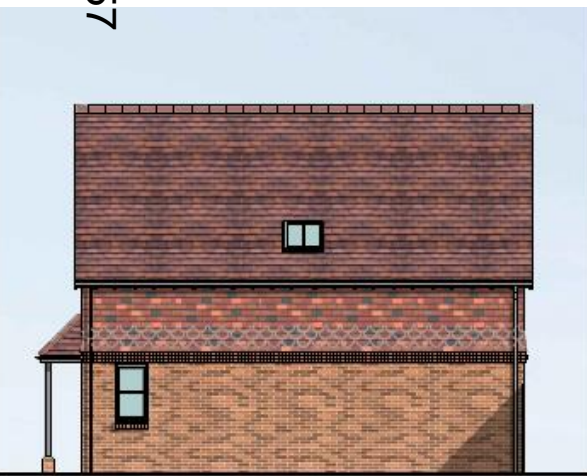
Additional screening to southern boundary within gardens





Fircroft Crescent
FRONT (NORTH) ELEVATION 1:100

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Plots 1 & 3

SIDE (WEST) ELEVATION - PLOTS 1 & 3 1:100



Plot 2

SIDE (EAST) ELEVATION - PLOT 2 1:100



Plot 4

SIDE (EAST) ELEVATION - PLOT 4 1:100



SITE BOUNDARY

SITE BOUNDARY

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Plot 1

Plot 2

Plot 3

Plot 4

REAR (SOUTH) ELEVATION 1:100







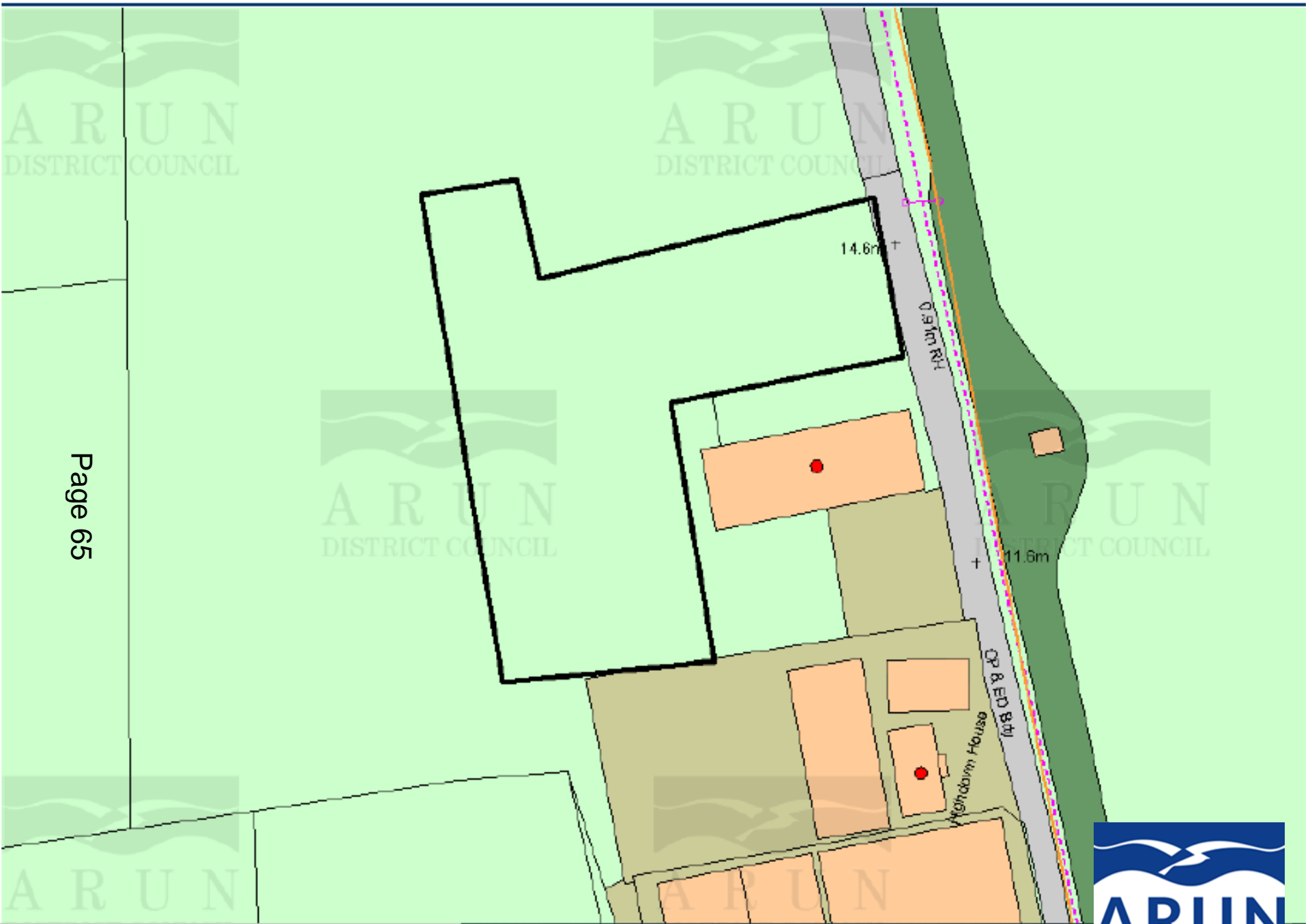


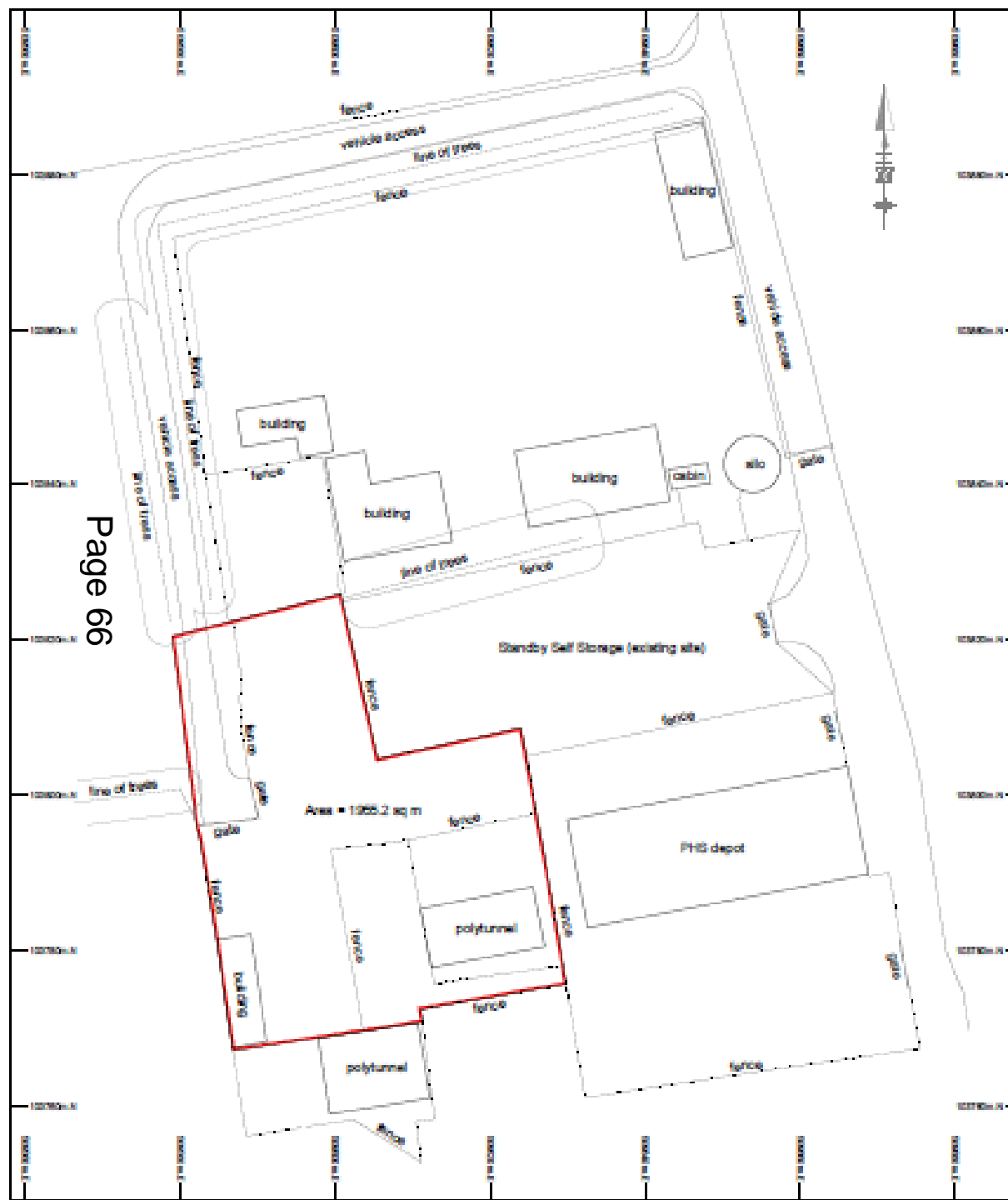


FG/123/20/PL

Land at former McIntyre Nursery,
Littlehampton Road, Ferring

Demolition of a polytunnel, storage building & scaffolders' shelters & racking, use of land for Class B8 container self-storage & the siting of 79 No. single-stacked storage containers, part regrading of the ground, new fencing, CCTV & lighting. This site is in CIL Zone 3 (Zero Rated) as other development & is a Departure from the Development Plan.

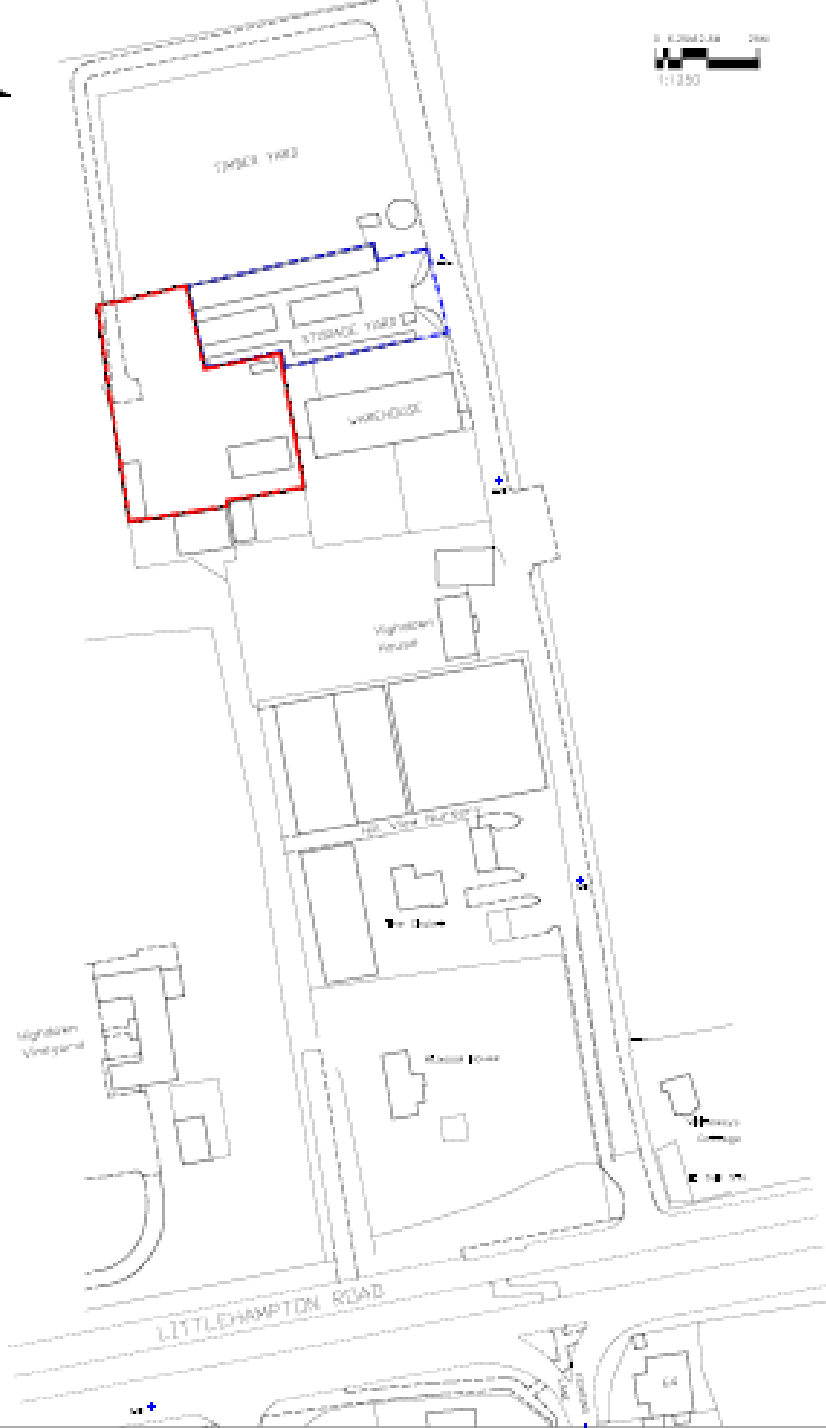




Block Plan



© ARUN DISTRICT COUNCIL 2016
1:1000





TIMBER YARD

ACCESS ROAD

ACCESS DRIVE

WAREHOUSE
P16 ALL CLEAR

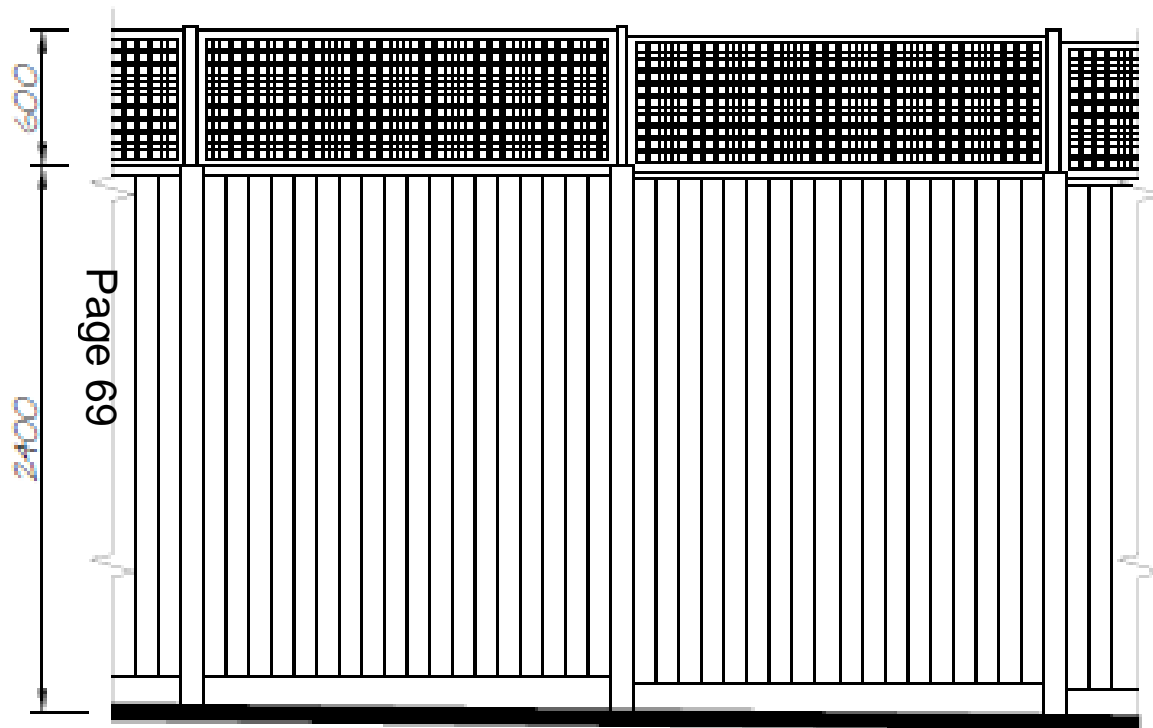
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MATERIALS

Code	Description	Notes
EX-1	Exhibit 28 show colors, attached on maximum level to the top of the concrete. Finishing height 3.0m	SEE EXHIBIT 28
Lighting	Industrial Inventory: 100' ball-bulb lighting attached to the structure or reflectors to provide downward direction to the light. Finishing height 3.0m	Exhibit EX-002(1) LPI photochromes 20W and LED ball-bulb light
Roof structure	Exhibit 28 show colors, attached on maximum level to the top of the concrete. Finishing height 3.0m	Colors per exhibit
Exhibit 28	High capacity steel structure base and supports, 24' high.	Exhibit 28 and 29
Roofs	On high-bay roof structure, 24' high.	Exhibit 28 and 29
EX-2	Clear knockdown base panel with concrete panels, 24' high plus 10' steel high roof top	Exhibit 28 and 29

REVISION NOTE
8/10/20
 ALL SHOWN CONTAINERS REFER TO 4.6.16
 CONTAINERS, AS COMPLETED BY
 METRIC ON DRAWING NUMBER, 4.6.16.1A

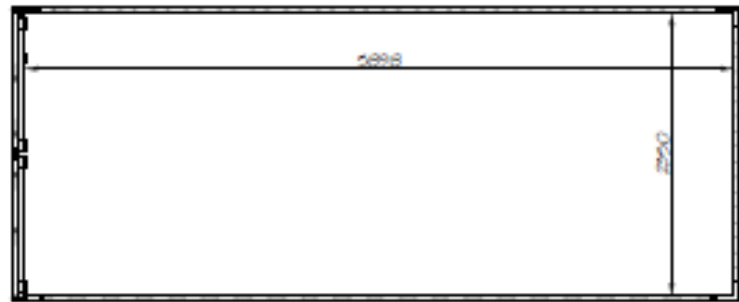




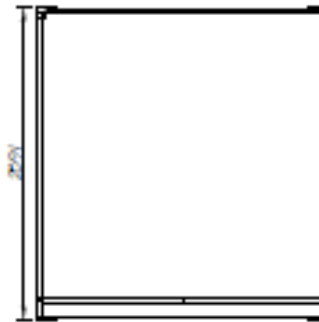
TIMBER CLOSE-BOARDED FENCE

- 125 x 100mm POSTS
- ARRIS RAILS
- GRAVEL BOARD
- FEATHER-EDGE BOARDS
- 35 x 35mm TRELLIS FRAME WITH 40mm GAP BETWEEN SLATS
- TREATED SAWN SOFTWOOD FINISH WITH CHESNUT WOOD STAIN

TYPICAL FENCE ELEVATION



Floor Plan



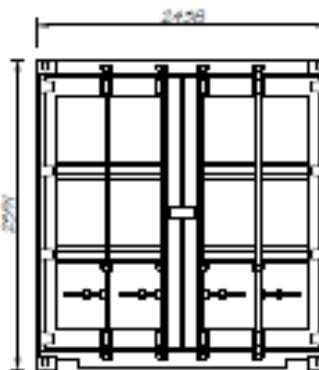
Cross Section

SPECIFICATION:

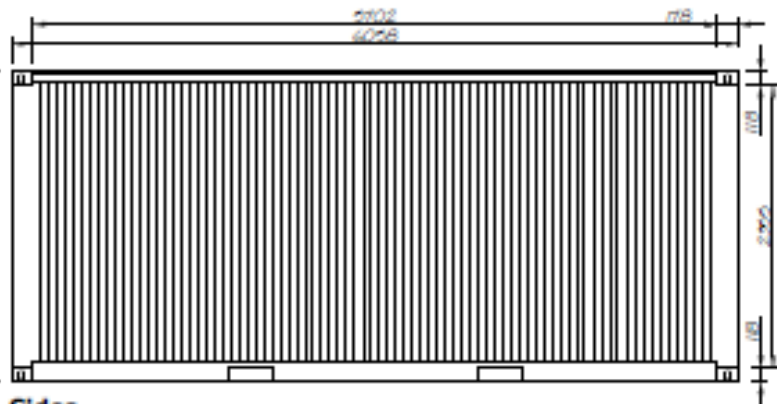
- See attached technical specification for standard ISO Type dry cargo steel container
- Colour RAL 6001 Dark Green
- Level lifting eyes on brick or railway sleeper pads



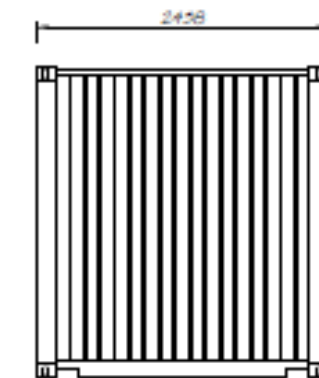
Roof Plan



Front

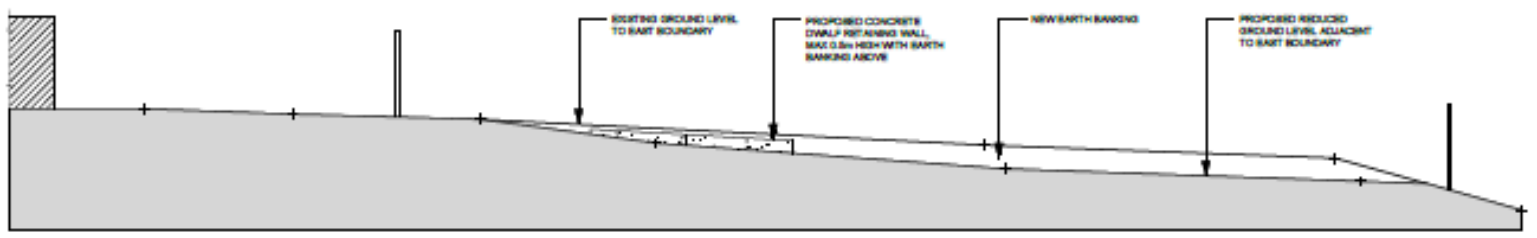


Sides



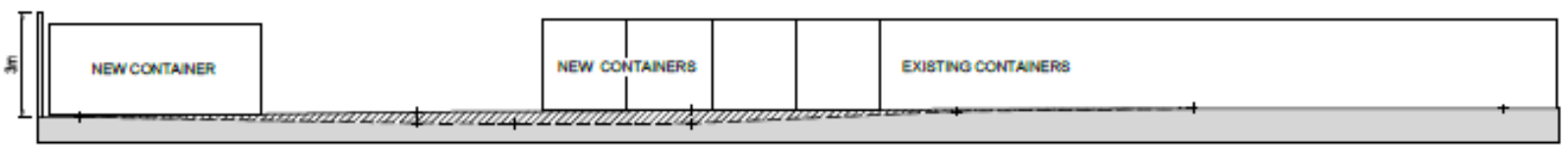
Back

17.00
16.00
15.00
14.00
13.00
12.00
11.00



EAST BOUNDARY SECTION LINE

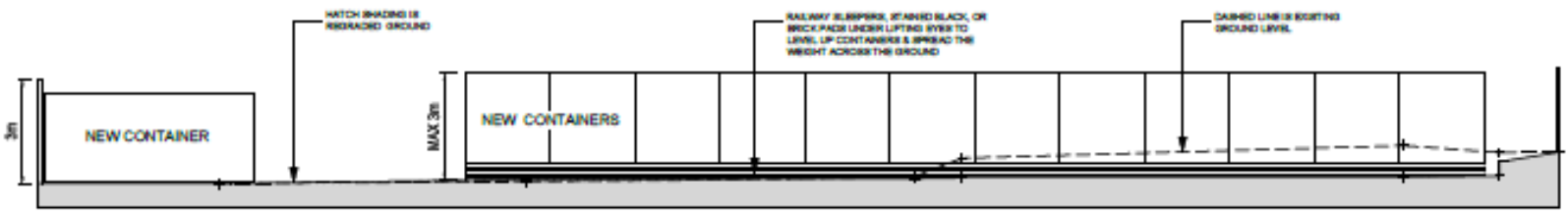
17.00
16.00
15.00
14.00
13.00



SECTION LINE B-B

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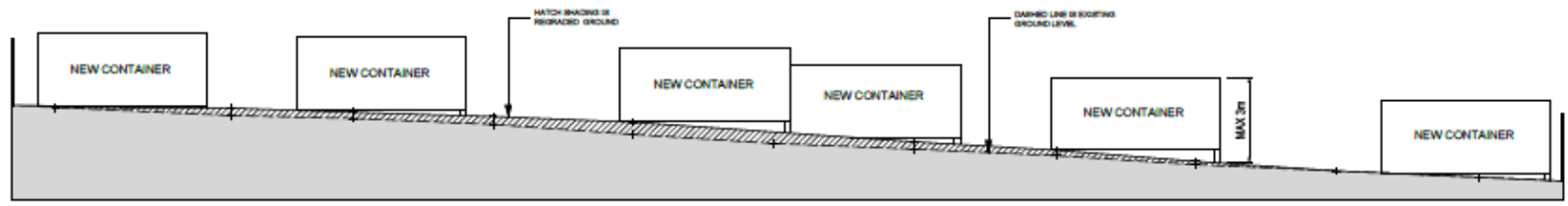
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15.00
14.00
13.00
12.00



SECTION LINE C-C

Section Plans

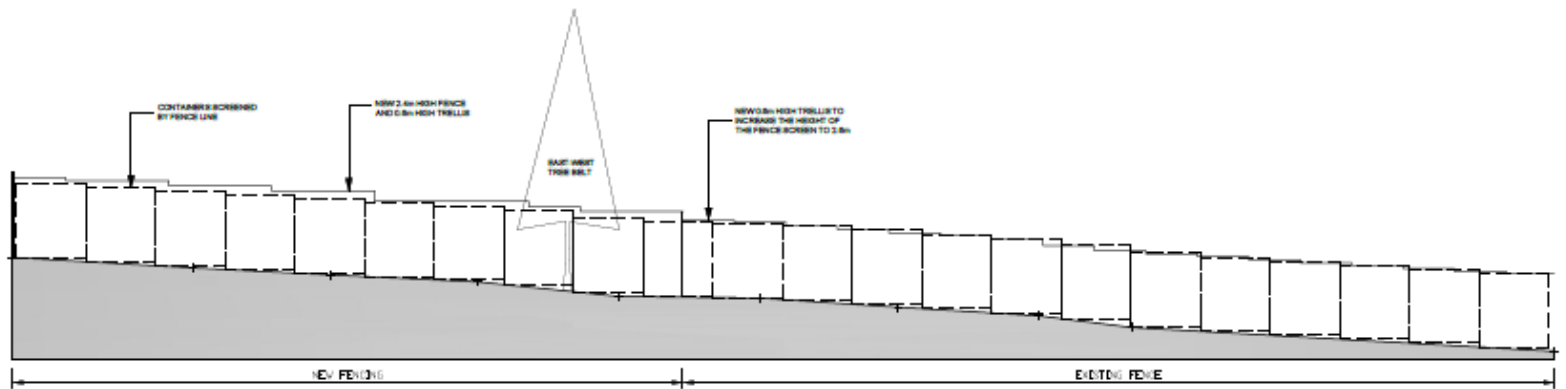
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16.00
15.00
14.00
13.00
12.00
11.00



SECTION LINE A-A

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17.00
16.00
15.00
14.00
13.00
12.00
11.00
10.00



WEST BOUNDARY SECTION LINE

Section Plans Continued









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BR/286/20/HH

17 Shelley Road, Bognor Regis

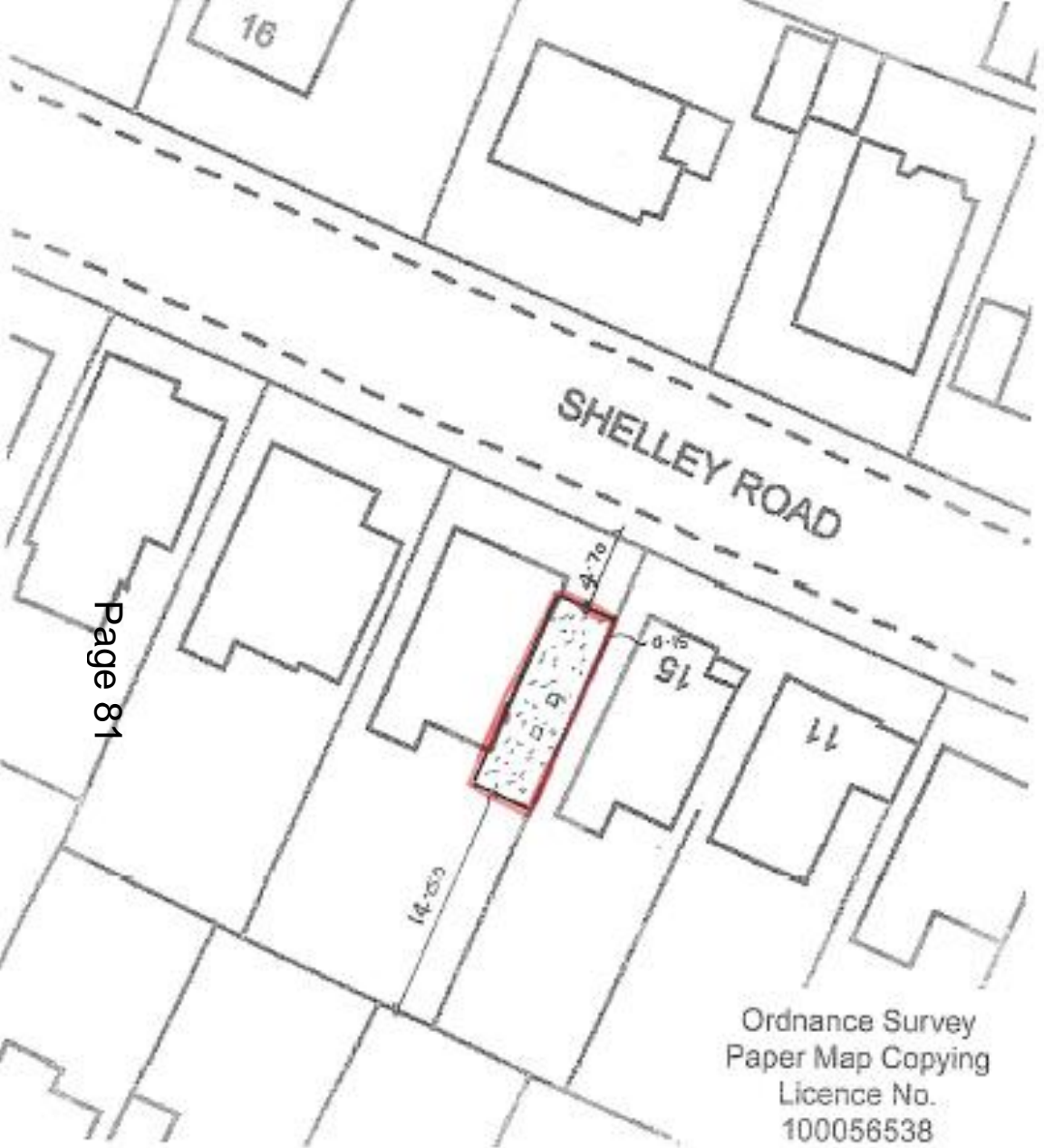
Removal of existing garage and erection of single storey side and rear extension



N
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location plan



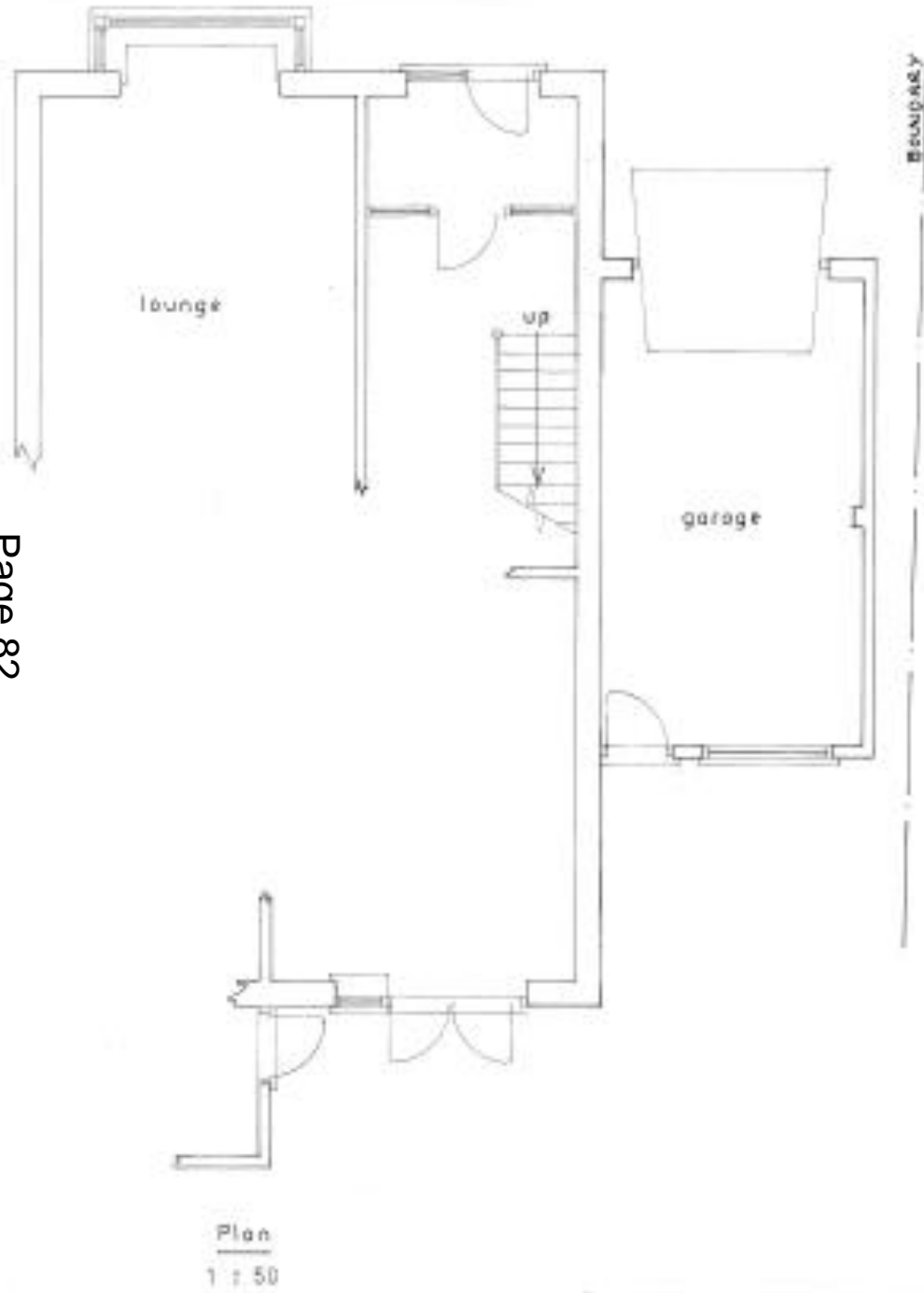


Ordnance Survey
Paper Map Copying
Licence No.
100056538

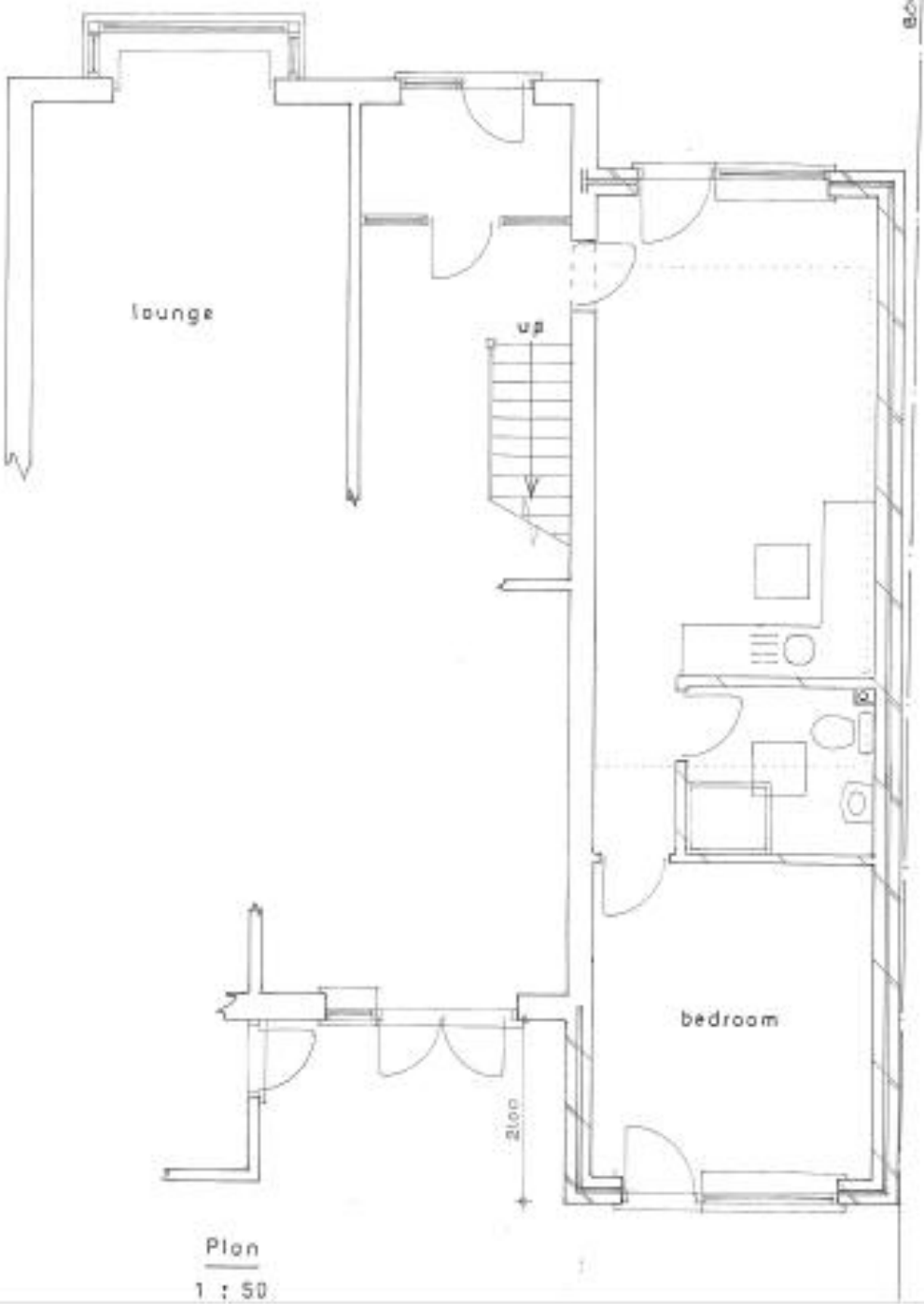
block plan
1 : 500

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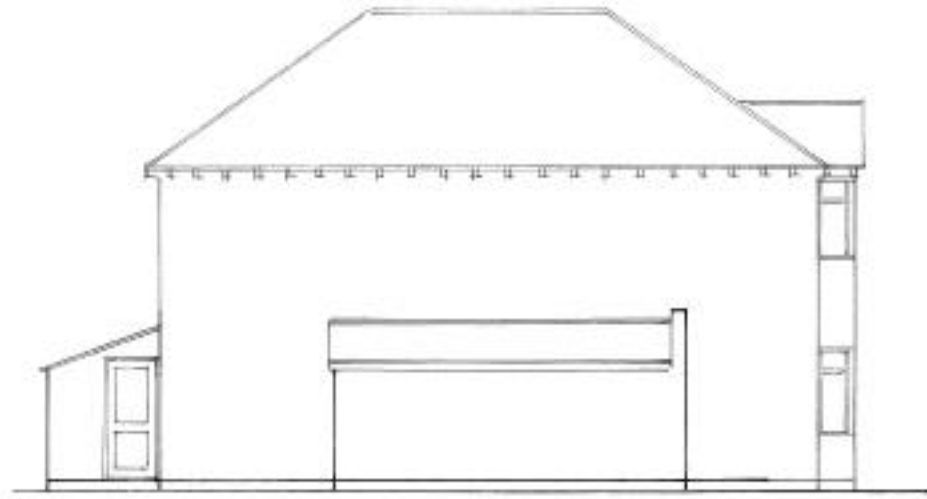
Existing Ground Floor



Proposed Ground Floor

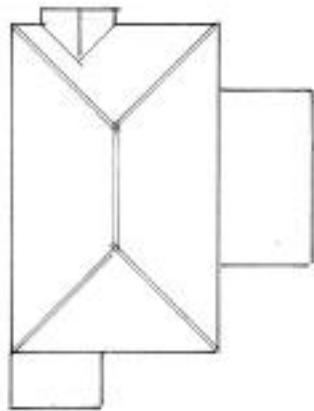


south



east

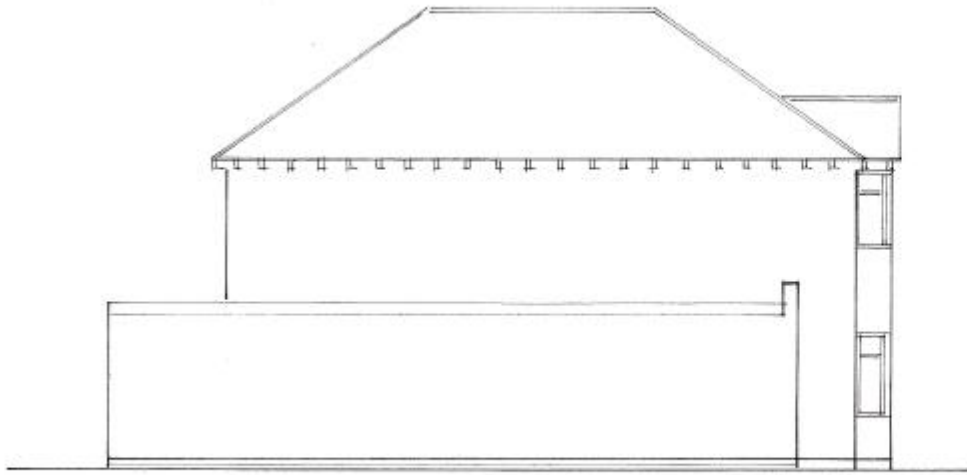
Existing Elevations
and Roof Plan



roof plan
1 : 200



north
1 : 100



east

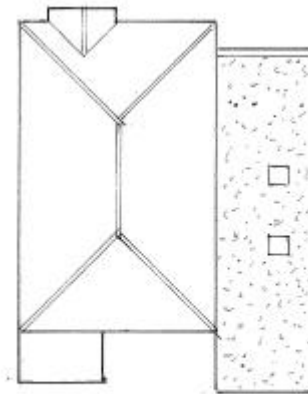


north
1 : 100

Proposed Elevations and Roof Plan



south



proposed roof plan





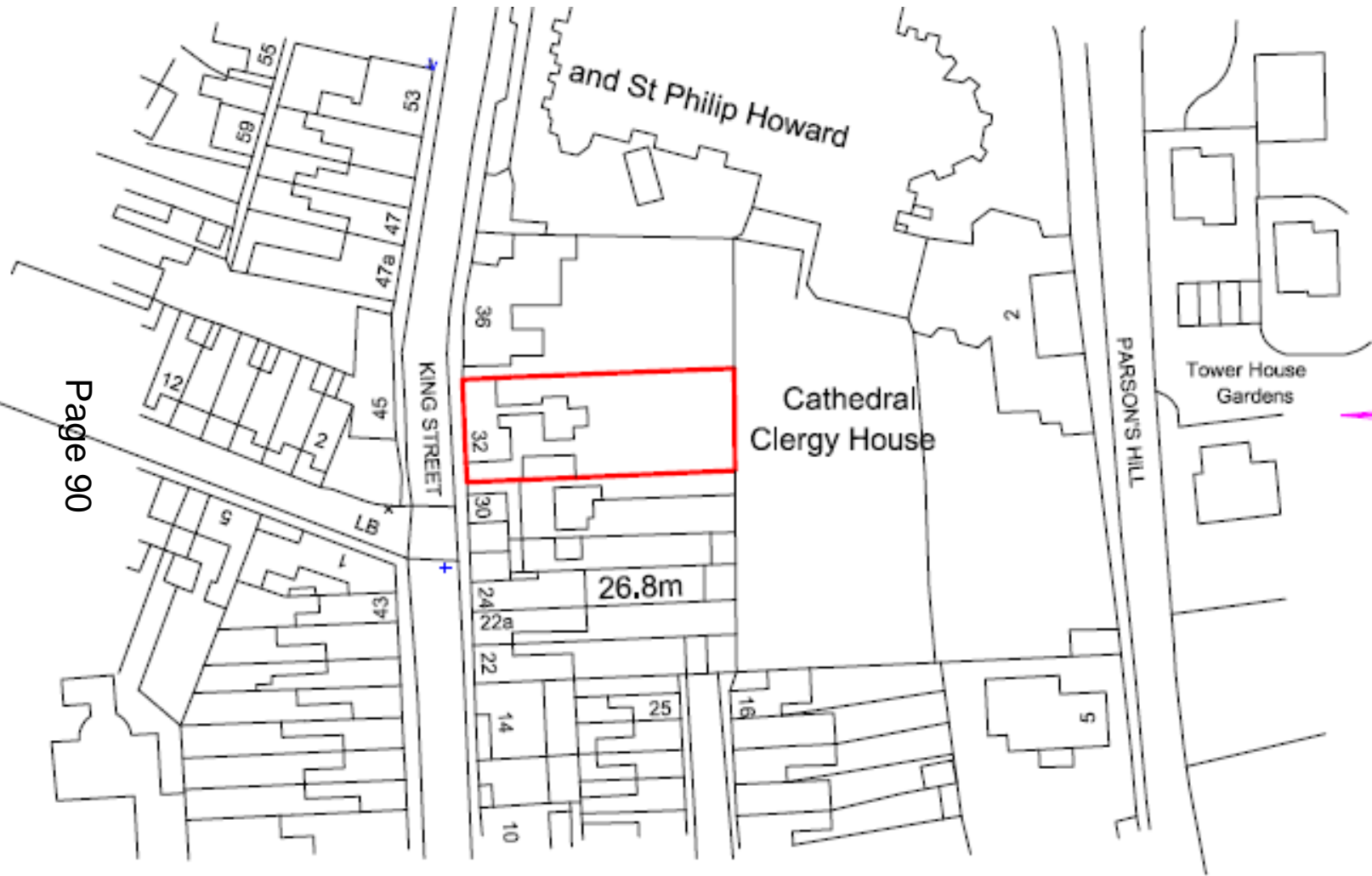


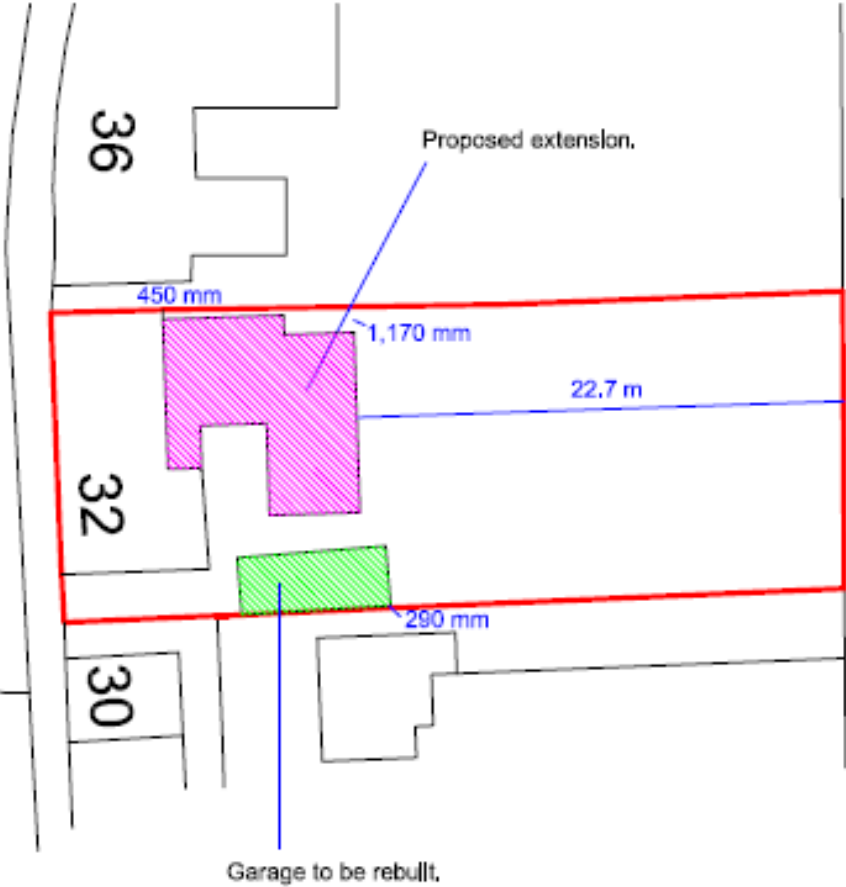
AB/109/20/HH

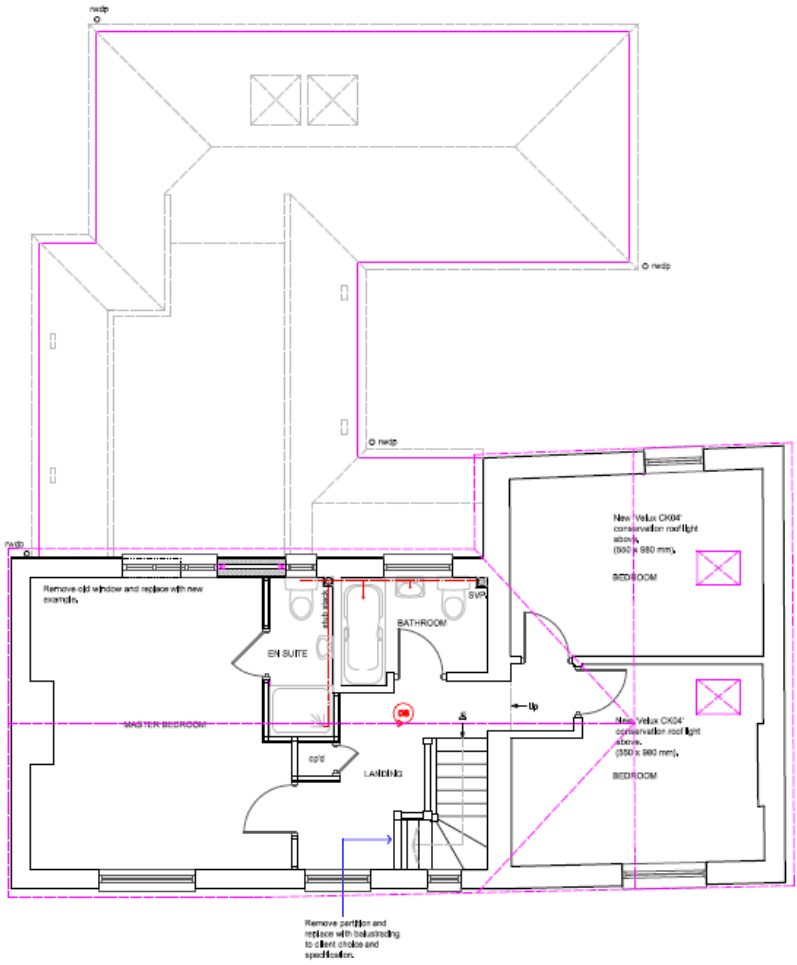
White Cottage, King Street, Arundel

Rear single storey extension for new kitchen and living area, internal alterations, new and adjusted windows and doors, part replacement roof structure with 2 x conservation roof lights to the main building, re-covering of main roof and partial re-build of the detached garage with replacement pitched roof. This application affects the character & appearance of the Arundel Conservation Area & may affect the setting of listed buildings.









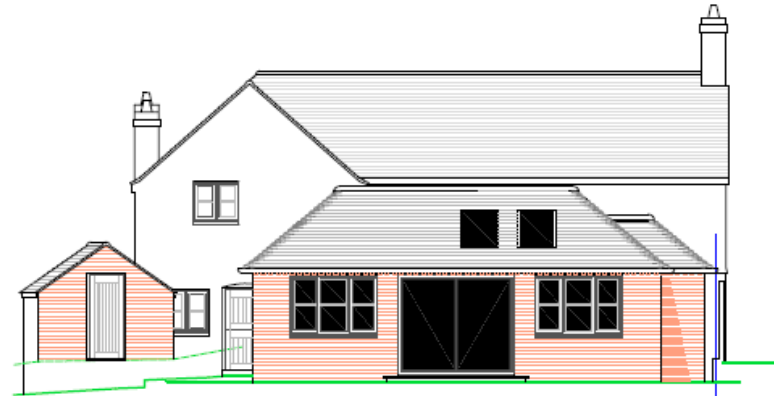
NOTES

WALLS - Face brickwork to new external walls to match, modification detail to extension eaves. Plain clay tile hanging to be removed from the front and rear elevations and replaced with a painted render finish. Three of the garage walls are to be rebuilt in face brickwork to match existing.

ROOF - Reclaimed and re-used where possible, plain clay roof tiles to all of the pitched roofs to match existing clay examples. GRP flat roof covering elsewhere.

WINDOWS - Residence 9' Wooden effect PVC double glazed units with single horizontal glazing bar.

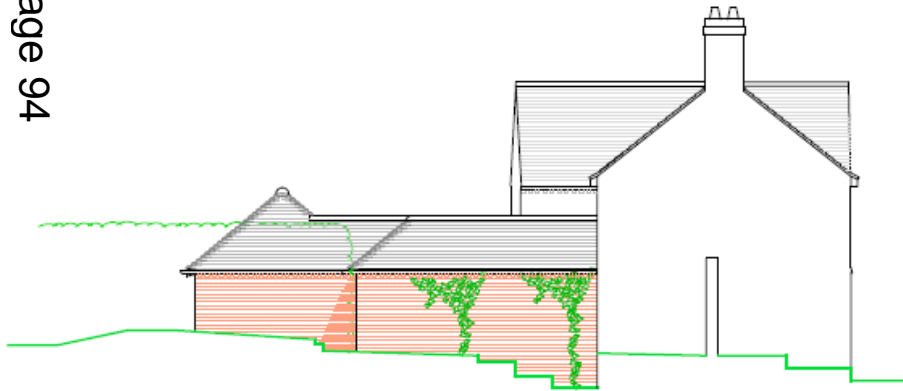
DOORS - Wooden doors refitted, some with single glazing.



EASTERN ELEVATION

Painted render panel replacing the existing plain tile hanging.

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NORTHERN ELEVATION



NOTES

WALLS - Face brickwork to new external walls to match, modillion detail to extension eaves. Plain clay tile hanging to be removed from the front and rear elevations and replaced with a painted render finish. Three of the garage walls are to be rebuilt in face brickwork to match existing.

ROOF - Reclaimed and re-used where possible, plain clay roof tiles to all of the pitched roofs to match existing clay examples, GRP flat roof covering elsewhere.

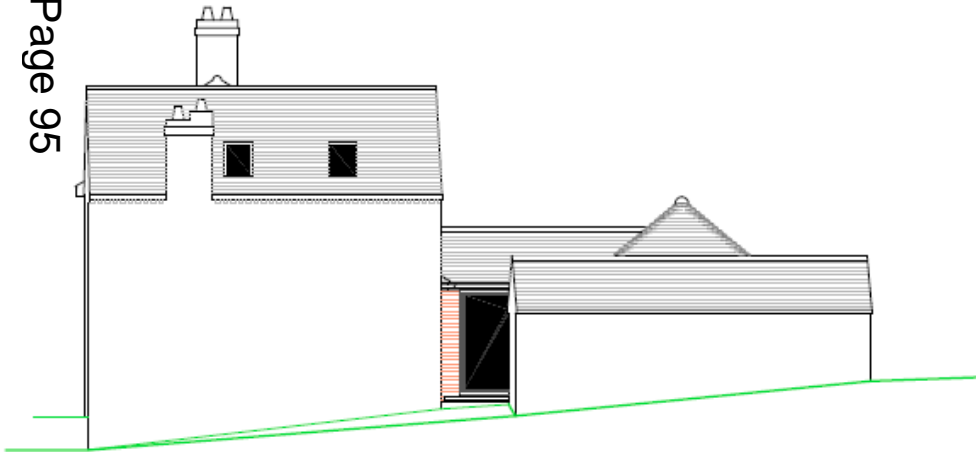
WINDOWS - 'Resilience 9' Wooden effect PVC double glazed units with single horizontal glazing bar.

DOORS - Wooden doors retained, some with single glazing.



WESTERN ELEVATION

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SOUTHERN ELEVATION







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